

PROJECT MANUAL

FOR THE

**RENOVATIONS OF
36 SOUTH STREET
LEICESTER, NEW YORK**

Prepared For:

**Livingston County Land Bank Corporation
6 Court Street, Room 305
Geneseo, New York 14454**

Prepared By:



**LiRo Engineers, Inc.
85 Allen Street
Rochester, NY 14608**

Bid Documents

October 1, 2025

Bid Documents
for
RENOVATIONS OF
36 SOUTH STREET, LEICESTER, NY

Date Issued:	Wednesday, October 1, 2025
Bids due by:	Thursday, October 23, 2025, at 10:00 am
Bid Opening:	Thursday, October 23, 2025, at 10:00 am in Room 303A of the Livingston County Government Center (6 Court Street, Geneseo NY)
Refer Questions in Writing to:	Jeffrey Perkins LiRo Engineers, Inc. perkinsj@liro-hill.com
Submit Sealed Proposals to:	Livingston County Land Bank Corporation Attn: Megan Crowe, Executive Director 6 Court Street – Room 305 Geneseo, NY 14454

**Renovations Of
36 South Street, Leicester, NY
Contract Documents**

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TECHNICAL SPECIFICATIONS:

See drawing notes only.

LIST OF DRAWINGS:

<u>DRAWING No:</u>	<u>TITLE</u>
G-001	DRAWING NOTES
G-100	36 SOUTH ST. - SITE LOCATION AND TAX MAP
G-101	36 SOUTH ST. - SITE PLAN
EC-1	EXISTING CONDITION FLOOR PLANS
D-1	DEMOLITION FLOOR PLANS
A-0	BASEMENT FLOOR PLAN
A-1	FIRST AND SECOND FLOOR PLANS
U-101	36 SOUTH ST. - BASEMENT UTILITY CONSTRUCTION PLAN
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H-101	36 SOUTH ST. - HAZARDOUS BUILDING MATERIAL ABATEMENT PLAN

ADDITIONAL INFORMATION:

Limited Asbestos Containing Material Inspection Report

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ARTICLE 1

Livingston County Land Bank Corporation

Advertisement for Bids

Renovations Of 36 South Street, Leicester, NY

The Livingston County Land Bank Corporation is requesting sealed bids for the renovation of the main structure located at 36 South Street, Leicester, New York.

The property is unoccupied, and the buildings are within the control of the Livingston County Land Bank Corporation. The Land Bank disclaims any responsibility that representations made regarding conditions or quantities of materials will remain as they were when reviewed by the bidders during the bidding period, prior to award of the contract, or during the work.

Bidding Documents

Bidding Documents may be viewed and downloaded from the Livingston County Land Bank's website at <https://livingstoncountylandbank.org/contractors-vendors/> or by contacting Nathan Cole, Principal Community Development Specialist at (585) 243-7563 or NateCole@livingstoncountyny.gov.

Bids must be prepared and submitted in accordance with the Instructions to Bidders.

Sealed bids will be received at the Livingston County Land Bank Corporation Office located at 6 Court Street, Room 305, Geneseo, New York 14454 until **Thursday October 23, 2025, at 10:00 am**, prevailing time, at which time they will be publicly opened. The official time for the receipt of bids will be the time shown on the time stamp located in the Livingston County Land Bank Corporation Office. It is the sole responsibility of bidders to ensure bid packages are received in a timely fashion. Bids will not be accepted via email or fax. **Bid Opening: Thursday, October 23, 2025, at 10:00 am in Room 303A of the Livingston County Government Center (6 Court Street, Geneseo)**

Bid Bond

Bids must be submitted using the forms provided in the Bidding Documents and shall be accompanied by a Bid Bond payable to the Livingston County Land Bank Corporation in the amount of 5% of the total bid amount. If upon acceptance of a bid, a bidder fails to enter into a contract with the Livingston County Land Bank Corporation, the Bid Bond shall be forfeited to the Land Bank. A certified bank check will not be accepted. Selected bid awardee shall also be required to provide a Performance Bond and Payment Bond covering faithful and satisfactory performance of the work contracted in an amount equal to one hundred percent (100%) of the contract amount.

ARTICLE 2

INSTRUCTIONS TO BIDDERS

1. PROJECT:

The Livingston County Land Bank Corporation (the “Land Bank”) requires renovation of the main structure located at 36 South Street, Leicester, New York. It is the intent of the Land Bank to contract with a Contractor and to establish a lump sum bid price to conduct this work.

Notwithstanding the details presented in the Project Manual, shall be the responsibility of the bidder to verify the completeness of same to meet the intent of the contract documents.

2. EXECUTIVE DIRECTOR:

Megan Crowe, 6 Court Street – Room 305, Geneseo, New York 14454.

3. DEFINITIONS:

- (A) A “Bid” as a complete and properly signed proposal to sell and deliver to the Land Bank the services as described in the Project Manual, submitted in accordance with the Instruction to Bidders.
- (B) A “Bidder” is a person or entity who submits a bid.
- (C) “Contract Documents” shall consist of the Notice to Bidders, Instructions to Bidders, any Addenda issued, General Requirements and Specifications for Renovations, Livingston County Land Bank Corporation Bid Packet, Non-Collusion Bidding Certification, Indemnification Agreement, Debarment Certification, Iran Divestment Act Certification, Lobbying Certification, Appendices A, B and C, Insurance Requirements, and Drawings and Specifications.

4. RECEIPT OF BIDS:

Sealed bids will be received at the Livingston County Land Bank Corporation Office located at the Livingston County Government Center, 6 Court Street – Room 305, Geneseo, New York 14454 until **Thursday October 23, 2025, at 10:00 am**, prevailing time, at which time they will be publicly opened. Any Bid received after the specified time will be returned to the Bidder unopened. Bid Opening: **Thursday October 23, 2025, at 10:00 am in Room 303A of the Livingston County Government Center.**

5. BIDDER’S REPRESENTATIONS:

By making a Bid, the Bidder represents and warrants to the Land Bank that:

- (I) Bidder is able to furnish and install the materials required by the Contract Documents in the time frame set forth in said documents;
- (II) Bidder has carefully examined the Contract Documents;
- (III) Bidder fully understands the intent and purpose of the Contract Documents; and
- (IV) The bid is based upon the specifications set forth in the Contract Documents without exception. Claims for additional compensation and/or extension of time relating to such representations and warranties will not be allowed.

6. INTERPRETATION OR CORRECTION OF CONTRACT DOCUMENTS:

No oral interpretation will be made to any Bidder as to the meaning of the Contract Documents or any part thereof. Any request for such an interpretation shall be made in writing and submitted via email to Jeffrey Perkins, (LiRo Engineers, Inc.) at perkinsj@liro.com. Any interpretation made to a Bidder will be in the form of a written Addendum. It shall be the Bidder's responsibility to make inquiry prior to submitting a Bid as to any Addenda issued on the County website. All issued Addenda shall become part of the Contract Documents and each Bidder shall be bound by such Addenda, whether or not received by the Bidder.

7. SALES TAX EXEMPTION:

The Land Bank is exempt from payment of sales and compensation use taxes under the Tax Law of the State of New York. Bidders are not to include sales or use taxes in their Bid price.

8. PREVAILING WAGE:

Please note that NYS Department of Labor PREVAILING WAGE RATES DO APPLY TO THIS WORK.

9. PREPARATION OF BID AND PROPOSAL REQUIREMENTS:

- (A) Bids must be submitted on the Bid Proposal Form (**ARTICLE 4**) included in the Contract Documents and prepared in the following manner:
 - 1. All blank spaces on the Bid Proposal Form shall be filled in legibly, in ink or typewritten. If both words and figures are requested, the written words shall be binding on the Bidder. In the event of an error in the sum total of the Bid, the Bid shall be the sum total of all items in written words.
 - 2. Erasures and alterations must be initialed by the signer of the Bid.
 - 3. The Bidder shall not make any changes in the wording of the Bid Proposal Form or make any stipulations or qualify the Bid in any manner.
 - 4. The Bidder shall note the receipt of Addenda in the spaces provided on the Bid Proposal Form by entering the number and the date of each Addendum. If no Addenda have been received, insert the word "NONE". Failure to acknowledge Addenda shall be sufficient cause for rejection of the Bid.
 - 5. The Bid must be signed by the person legally authorized to bind the Bidder to a contract. The name of the person signing the Bid must be typed or printed below the signature.
 - 6. The Bid will include an estimated work and completion schedule.
- (B) List of at least three (3) relevant client references for residential renovation projects completed in the past five (5) years.
- (C) Resume describing the qualifications and background of the primary contact person and other key staff to be assigned to this project.
- (D) Project schedule that includes an estimated begin and end date for this project.
- (E) Proof of insurance meeting the requirements indicated in "**Section 24 – Insurance**" below, must be submitted with each Bid.
- (F) An executed Indemnification Agreement (**ARTICLE 6**) must be submitted with each Bid.
- (G) An executed Debarment Certification (**ARTICLE 7**) must be submitted with each Bid.
- (H) An executed Non-Collusion Bidding Certification (**ARTICLE 5**) required by Section 103-d of the General Municipal Law must be submitted with each Bid.

- (I) An executed Certification of Compliance with the Iran Divestment Act (**ARTICLE 8**) must be submitted with each Bid.
- (J) An executed Certification Regarding Lobbying (**Article 9**) must be submitted with each Bid.
- (K) Statement disclosing any potential conflicts of interest the Contractor may have in performing the scope of work specified by this Bid.
- (L) The Contractor shall submit a list of all sub-recipients and subcontractors, including names contacts and addresses along with the sealed bid documents.

10. SUBMISSION OF BIDS:

- (A) The Bid must be submitted in a sealed opaque envelope marked on the outside with the Bidder's name and address and the notation **"RENOVATIONS OF 36 SOUTH STREET, LEICESTER, NY"**. The envelope shall be addressed to the Executive Director Megan Crowe, Livingston County Land Bank Corporation, 6 Court Street – Room 303A, Geneseo, New York 14454.
- (B) Bidders requesting copies of the Bid tabulation sheets shall do so in writing with a stamped, self-addressed envelope enclosed.

11. MODIFICATIONS OR WITHDRAWAL OF BIDS:

- (A) A Bid may be modified or withdrawn by an appropriate document duly executed (in the manner that a Bid must be executed) and delivered to the place where Bids are to be submitted at any time prior to the scheduled time for opening of Bids.
- (B) A Bid may not be modified, withdrawn, or canceled for a period of forty-five (45) days after the date of the Bid opening; thereafter, a Bidder may withdraw his/her Bid only by a written notice of withdrawal submitted in advance of the Bid award.

12. BIDDERS' QUALIFICATIONS:

The Land Bank may make such investigation as it deems necessary to determine the qualifications and ability of a Bidder to perform under the Contract, and the Bidder shall promptly furnish to the Land Bank all such information and data that the Land Bank may request for this purpose. The Land Bank reserves the right to reject any Bid where an investigation of the available evidence or information does not satisfy the Land Bank that the Bidder is properly qualified or able to carry out the obligations of the Contract.

Bidders must meet the following minimum qualifications:

- (A) If required for the trade or by Federal, State, Local regulations, the Contractor or Subcontractors must be appropriately and legally licensed in New York State.
- (B) Demonstrate prior experience in the renovations of residential property in accordance with applicable codes, standards, rules, and regulations within the past five (5) years.
- (C) Have the capacity to provide all labor and equipment to perform the work. In addition, have the capacity to provide all labor and equipment to remove any necessary debris and waste as necessary to complete the specified scope of work.
- (D) Provide references for at least three (3) prior projects in the past five (5) years.

13. IRAN DIVESTMENT ACT AND NON-COLLUSION:

The Non-Collusion Bidding Certification and Iran Divestment Act Certification, attached hereto and made part hereof as '**Article 5**' and '**Article 8**', must be executed and submitted with each Bid.

14. INDEMNIFICATION:

The Indemnification Agreement, attached hereto and made part hereof as '**Article 6**,' must be executed and submitted with each Bid.

15. DEBARMENT:

The Debarment Certification, attached hereto and made part hereof as '**Article 7**,' must be executed and submitted with each Bid.

16. EQUAL OPPORTUNITY

The Contractor represents that, in conducting the activities described in this Agreement, the Contractor shall not and will not discriminate in its activities and operations on the basis of age, race, creed, ethnicity, color, religion, sex, sexual orientation, national origin, disability, marital status or any other basis that is prohibited by federal, state, or local law. The Contractor also agrees that it will act with the highest professional standards.

17. SANCTIONS

Contractor agrees that any payment for services under this Agreement will be used in compliance with all applicable anti-terrorist financing and asset control laws, regulations, rules and executive orders, including but not limited to, the USA Patriot Act of 2001 and Executive Order No. 13224. None of the Contractor, any of its parent entities or subsidiaries or, to the knowledge of the Contractor, any director, officer, agent, employee or affiliate of the Contractor or any of its parent entities or subsidiaries is currently the subject or target of any sanctions administered or enforced by the US Government, including, without limitation, the Office of Foreign Assets Control of the US Department of Treasury (or any successor thereto) ("OFAC"), or other relevant sanctions authority (collectively, "Sanctions"), and the Contractor will not directly or indirectly use Land Bank payments and proceeds of this Agreement, or lend, contribute or otherwise make available such proceeds to any parent entity, subsidiary, affiliate, joint venture partner or other person or entity (i) to fund any activities of or business with any person, or in any country or territory, that, at the time of such funding, is the subject of Sanctions or (ii) in any other manner that will result in a violation by any person (including any person participating in the transaction, whether as underwriter, advisor, investor or otherwise) of Sanctions. By signing this Agreement with the Land Bank, the Contractor represents that neither the Contractor nor any principal of the Contractor, nor any person or entity owning a direct or indirect interest in or having a direct control over the Contractor is a person or entity that is named as a specifically designated national and blocked person" on the most current list published by the

U.S.Treasury Department Office of Foreign Assets control at its official website:
<http://www.treas.gov/ofac/t11sdn.pdf>.

Contractor represents and warrants to the Land Bank that, in connection with the use of all payments and proceeds of this Agreement, and generally in its dealings with the Land Bank, the Contractor shall not directly or indirectly deal with a person, entity or any other party (including official or de facto authorities) that are:

- (A) located, domiciled, resident, incorporated or operating in a country/region subject from time to time to any sanctions and/or trade embargoes administrated by any Sanctioning Authority, as well as any other country designated by a Sanctioning Authority or identified as a “Sanctioned Country”; or
- (B) subject to any sanctions lists administrated by authority responsible for the administration of sanctions and embargoes in the United Nations, the European Union, Switzerland, United States (Office of Foreign Assets Control of the US Department of Treasury) and in any other applicable country notified from time to time by the Land Bank (each “Sanctioning Authority”); or
- (C) owned or controlled by a person, entity or any other party as defined in (a) or (b) above (collectively, “Restricted Parties”) and that neither it nor its directors, officers, agents or employees are Restricted Parties.

18. NONDISCRIMINATION; COMPLIANCE WITH FAIR HOUSING ACT AND EQUAL CREDIT OPPORTUNITY ACT

Contractor shall not discriminate in its activities and operations in connection with this Agreement on the basis of age, race, creed, ethnicity, color, religion, sex, sexual orientation, national origin, disability, marital status or any other basis that is prohibited by federal, state, or local law or regulation. Contractor expressly agrees not to use payments and proceeds from this Agreement for any purpose or in any manner that could be deemed to violate the Fair Housing Act, 42 U.S.C. § 3601 *et seq.*, or the Equal Credit Opportunity Act, 15 U.S.C. § 1691 *et seq.*, or any regulation promulgated thereto.

Contractor shall require any Subrecipient, Subcontractor, sub-Subrecipient, Sub-Subcontractor or Property Owner receiving payments and proceeds related to this Agreement to comply with the obligations set forth in this section, including by providing their express agreement not to use payments and proceeds from this Agreement for any purpose or in any manner that could be deemed to violate the Fair Housing Act, 42 U.S.C. § 3601 *et seq.*, or the Equal Credit Opportunity Act, 15 U.S.C. § 1691 *et seq.*, or any regulation promulgated thereto.

19. COMPLIANCE WITH LAW AND PROHIBITED USES

Contractor shall comply with all federal, state, and local laws and regulations related to its performance or fulfillment of any acts, duties or obligations referred to under this Agreement or otherwise generally applicable to Contractor and its organization and activities.

20. ANTI-CORRUPTION/BRIBERY

Contractor represents and warrants that it is familiar with and is in compliance with the Foreign Corrupt Practices Act of 1977 (FCPA) (15 U.S.C. § 78dd-1, *et seq.*) (as amended) and shall not engage in any form of bribery, collusive practice or any other form of corruption, nor will it extort, solicit, receive, offer, promise or give any undue financial or other advantage, directly or indirectly, in connection with any of its dealings with the Land Bank. Furthermore, Contractor nor any person acting on its behalf shall authorize the giving of, offer, or give anything of value to any official or employee of the government or any state-owned entity, any agent or representative of the foregoing, or any other person (including any Land Bank employee, contractor or agent) to improperly obtain, retain, or direct business or any improper advantage for or to any person.

21. LOBBYING AND POLITICAL ACTIVITY

Contractor shall not use any payments or proceeds disbursed to it under this Agreement for any political campaign or to influence the outcome of any election, to carry on propaganda, to lobby or otherwise attempt

to influence legislation or the outcome of any specific public election, to carry on directly or indirectly, any voter registrations drive or to conduct any activities described in Sections 4945(d) and (e) of the United States Internal Revenue Code of 1986, as amended (the "Code") and the Treasury Regulations promulgated thereunder.

The Lobbying Certification, attached hereto and made part hereof as '**Article 9,**' must be executed and submitted with each Bid.

22. LEGALITY OF ACTIONS

The Contractor represents, warrants and covenants that renovations of real property performed in connection with this Agreement shall be compliant with all applicable laws, rules, restrictions, orders and regulations, including, but not limited to, environmental laws and regulations and locally accepted renovation practices.

23. SUBRECIPIENTS AND SUBCONTRACTORS

The Contractor agrees to hold sub-recipients and subcontractors to all terms and conditions of this Agreement. The Contractor shall submit a list of all sub-recipients and subcontractors, including names contacts and addresses along with the sealed bid documents.

24. INSURANCE

The successful Bidder shall procure and maintain for the entire term of this Agreement, without additional expense to the Land Bank, insurance policies of the kinds and amounts described below. Such policies may only be changed upon thirty (30) days prior written approval by the Land Bank.

- (A) Commercial General Liability Coverage in amounts not less than:
 - i. \$1,000,000 per occurrence/ per location or per project aggregate (for more than one location),
 - ii. \$2,000,000 in the annual aggregate,
 - iii. \$2,000,000 products/completed operations aggregate.
- (B) LIVINGSTON COUNTY LAND BANK CORPORATION and LIRO ENGINEERS, INC. shall be covered as Additional Insureds under the policy and identified as Certificate Holders on the Certificates of Insurance;
- (C) Worker's Compensation Insurance in form and amounts consistent with state statutory requirements.
- (D) Comprehensive Automobile Insurance
 - 1. in amount not less than \$1,000,000, for all owned, leased, non-owned and hired automobiles. If no owned autos, coverage may be extended from the CGL policy.
 - 2. Waiver of Subrogation.
 - 3. 30 day notice of cancellation endorsement.
 - 4. LIVINGSTON COUNTY LAND BANK CORPORATION and LIRO ENGINEERS, INC. shall be covered as Additional Insureds under the policy.
- (E) Environmental Pollution Liability with limits of liability not less than \$1,000,000.
- (F) REQUIREMENTS FOR ALL INSURANCE INCLUDE:
 - 1. All insurance carrier's must be rated "A-" or higher in the AM Best Guide with a Financial Size Category of at least VI.

2. The successful Bidder shall furnish Certificates of Insurance to the Land Bank and corresponding policy endorsements setting forth the above-mentioned required coverage prior to entering the property or commencing any work.
3. All insurance policies shall contain endorsements requiring the carrier to give at least thirty (30) days prior notice of cancellation to the Land Bank and include a waiver of subrogation.
4. All required insurance shall be primary and non-contributory to any insurance maintained by the Land Bank.
5. The named insured on the Certificates of Insurance must be successful Bidder's full legal name.
6. All policies must be current, not expired, and include all required endorsements.
7. Certificates of Insurance must be signed by an authorized representative of the insurance carrier.
8. Additional Insured/ Certificate holder/ (as required above) must appear as:

LIVINGSTON COUNTY LAND BANK CORPORATION
6 Court Street, Room 305
Geneseo, NY 14454

LIRO ENGINEERS, INC.
85 Allen Street
Rochester, NY 14608

- (G) Contractor shall maintain insurance with the required limits mentioned above for the duration of this Agreement. Completed Operations coverage must be maintained and evidenced for at least two (2) years after completion of the project.
- (H) Contractor shall ensure any subcontractors hired carry the same type of insurance with the same limits and provisions required by this Agreement. The Contractor agrees to cause each subcontractor to furnish the Land Bank with copies of its Certificate of Insurance and corresponding policy endorsements setting forth the required coverage hereunder prior to any such subcontractor entering the property or commencing any work.
- (I) All Certificates of Insurance must be approved by the Land Bank Attorney prior to commencing work under the Agreement.
- (J) It is expressly understood and agreed by the Contractor that the insurance requirements specified above contemplates the use of occurrence liability forms. If claims-made coverage is evidenced to satisfy any of these requirements the Contractor shall comply with the following requirements:
 1. If the claims-made coverage terms designate a specific retroactive date, the Contractor shall maintain a retroactive date which is not later than the earlier of:
 - a. the date of the commencement of the term of this Agreement, or
 - b. the original coverage retroactive date for the Contractor's first claims-made policy for each and every coverage provided on a claims-made basis.
 2. For the duration of this Agreement or its subsequent renewals, if the retroactive date is advanced or if the policy is non-renewed, cancelled or is otherwise materially changed, the Contractor agrees to purchase at its own expense, an Extended Reporting Endorsement. This endorsement must provide for extended reporting period ("Tail" coverage) in compliance with the minimum standards promulgated by the Department of Financial Services (Insurance

Department) of the State of the New York as contemplated in Regulation No. 121 (11 NYCRR 73) or its subsequent amendments or revisions.

3. Upon termination of the services provided to the Land Bank by the Contractor, it is agreed that such claims-made coverage will be maintained without interruption for a period of time equal to the length of any Extended Reporting Period requirement as cited above. If the retroactive date is advanced or if the policy is non-renewed, cancelled, or is otherwise materially changed during this period of time the Contractor agrees to purchase, at its own expense, an Extended Reporting Endorsement that is in compliance with the minimum insurance standards promulgated by the Department of Financial Services (Insurance Department) of the State of the New York as cited above.

25. CONSIDERATION OF BIDS; ACCEPTANCE OF BID:

- (A) The Land Bank shall have the right to reject any and all Bids; to reject a Bid not accompanied by the required Bid security or by other data required by the Contract Documents; to reject a bid which is in any way incomplete or irregular; and to waive any informality in a Bid.
- (B) The Land Bank shall award the Bid to one Bidder for the total amount indicated on the Bid Proposal Form.
- (C) The acceptance of a Bid by resolution of the Livingston County Land Bank Board of Directors shall bind the successful Bidder to comply with the terms and conditions of the Contract Documents.

26. SAFETY

The Contractor shall perform all work in accordance with the latest government safety regulations including, but not limited to, those adopted by the Department of Labor, Office of Safety and Health Administration Regulations and Environmental Protection Agency. Roadway closures, if needed, shall be coordinated with the local highway departments.

27. PERMITS AND FEES

The Contractor is required to obtain and pay for all **permits, building permits** and obtaining a **certificate of occupancy** associated with the renovations and waste disposal associated with this project.

28. TRAFFIC CONTROL

The Contractor will be responsible for providing any traffic control or roadway closures.

29. UTILITIES

The Contractor shall be solely responsible for utility connection related services from the premises as described in the scope of work and the protection of the operating condition of all active utilities within the area of construction and it shall take all necessary precautions to avoid damage to existing adjacent utilities.

30. CANCELLATION CLAUSE:

In the event of a breach of the Contract by the Contractor, the Contractor shall not be entitled to payment of the contract price or any other compensation. The Contractor shall be responsible for paying to the Land Bank all direct and consequential damages caused by the breach, including, but not limited to, all sums expended by the Land Bank to procure a substitute contractor to satisfactorily complete the work, together with the Land Bank's costs incurred in procuring a substitute contractor.

The Land Bank may, at any time, terminate the Contract for its convenience and without cause upon a written ten (10) day notice being mailed to the Contractor. In this event, any monies owing by the Land Bank for services completed prior to cancellation or termination shall be paid to the Contractor.

31. AWARD OF BID:

The award will be made within forty-five (45) days after the opening of the Bids and prices shall remain firm for this period of time, or until the Bid expires.

32. LENGTH OF CONTRACT:

The Contractor shall have up to one hundred twenty (120) calendar days from Notice to Proceed to complete the renovations as defined in the scope of work.

ARTICLE 3

GENERAL REQUIREMENTS AND SPECIFICATIONS FOR RENOVATIONS OF 36 SOUTH STREET, LECEISTER, NY

SCOPE OF WORK

In response to this bid solicitation, please bid a price that covers the renovation work of the main structure and site located at the address listed herein, including all labor, materials, equipment, supplies, and incidentals as necessary and required to complete the work as outlined below:

- The Contractor will provide the Land Bank with at least forty-eight (48) hours' notice prior to commencing the work at the property.
- The Contractor shall obtain, at its sole cost and expense, all permits, authorizations, approvals, and licenses necessary for the planning, performance, and completion of the work in accordance with the requirements of the respective municipal agencies and other authorities having jurisdiction.
- The Contractor will contact Dig Safely NY at least forty-eight (48) hours prior to beginning any excavation at the property and not proceed with any excavation until Dig Safely NY has completed their work and appropriately marked all utilities.
- The Contractor shall comply with all federal, state, county, city, town and other applicable laws, ordinances, rules, and regulations and all orders and rules of any duly constituted authorities affecting the property or bearing on the performance of the work.
- The Contractor will provide before and after time/date stamped photos of the property features for project record.
- The Contractor will confirm that all utilities are disconnected and/or protected as necessary to perform the work before commencing any work.
- The Contractor will arrange for proper utility (gas, electric, water, & sewer) connections for the project.
- The Contractor shall not place equipment or dumpsters on any roadways without proper traffic control and approval by the appropriate Highway Superintendent.
- The Contractor shall follow all requirements of the Contract Documents and provided Specifications and Contract Drawings, including all addenda.
- The Contractor and/or Subcontractors will perform all work associated with landscaping and yard clean-up, carpentry, installations, painting, mechanical, electrical, and plumbing work as described in the renovation plans of the contract documents.
- The Contractor will exercise caution so as to not damage any pedestrian sidewalk. If a sidewalk is damaged, the Contractor must repair or replace the damaged portion in a timely manner and prior to the Completion Date.
- The Contractor will completely remove all construction waste materials and debris from the property. The Contractor will arrange for transportation of the construction materials and debris to lawful disposal, storage, or recycling locations, as necessary.
- The Contractor will remove all trash, scrap and debris from the entire property.
- The Contractor shall obtain, at its sole cost and expense, a certificate of occupancy upon completion of the work in accordance with the requirements of the respective municipal agencies and other authorities having jurisdiction of the property.

Work Progress & Completion

- The work schedule shall be coordinated by the Contractor and the Land Bank.
- A written work schedule shall be included with the bid proposal and agreed upon by the Land Bank and the Contractor prior to the Notice to Proceed being issued.
- All specified work shall be commenced within 30 days and completed no later than 120 days from the issuance of the Land Bank's Notice to Proceed to the Contractor, unless otherwise agreed to.

ARTICLE 4

LIVINGSTON COUNTY LAND BANK **BID PROPOSAL FORM**

TO: Livingston County Land Bank Corporation

FOR: Renovations of 36 South Street, Leicester, NY:

The undersigned Bidder has carefully examined the form and content of the Contract Documents, has examined the site of the work, and hereby proposes to furnish all necessary labor, materials, equipment, and tools required to perform and complete the work in strict accordance with the Contract Documents.

The undersigned has read, understands and agrees to comply with all terms and conditions set forth in the Contract Documents.

The undersigned Bidder agrees to submit to all conditions reported, intended, or implied, both particularly and generally by the Contract Documents at the prices herein stated.

The undersigned Bidder also agrees as follows:

- 1) If this Bid Proposal is accepted, to execute the Contract within ten (10) calendar days of date of "Notice of Award" of Contract and furnish to the Land Bank satisfactory bond and insurance documentation.
- 2) Work shall be progressed to meet the following schedule:
 - Begin work within 30 calendar days from the date of the Notice to Proceed.
 - Complete work within 120 calendar days from the date of the Notice to Proceed.

Proposals may be considered informal and may be returned to the Bidder if all blank spaces in the Bid Proposal are not filled in.

ACKNOWLEDGMENT OF ADDENDA

The undersigned acknowledges the receipt of the following Addenda, but agrees that it is bound by all Addenda whether or not listed herein:

Addenda Number

Date

WORK SCHEDULE

Provide with this Bid Proposal an estimated schedule of work relative to the "NOTICE TO PROCEED" date.

BID PRICE

Pursuant to and in compliance with the "Advertisement", the "Instructions to Bidders" and "Bid Proposal" relating thereto, the Bidder hereby agrees to furnish all plant, labor, materials, supplies, equipment and other facilities and things necessary or proper for or incidental to work required by and in strict accordance with the Contract Documents and any Addenda subsequently issued, for the sum of:

Property

Lump Sum Bid Price

36 South Street, Leicester, NY

BIDDER: (Company Name)

(Type or Print)

BY: (Person submitting for Company)

(Signature)

(Type or Print Name and Title)

DATE SUBMITTED:

BUSINESS ADDRESS:

BUSINESS FEDERAL TAX ID:

PHONE NUMBER:

E-MAIL ADDRESS:

SUBCONTRACTOR LIST

BIDDERS MUST COMPLETE THE CHART BELOW NAMING EACH SUBCONTRACTOR FOR THE WORK AND THE AMOUNT TO BE PAID TO EACH UNDER THE BASE BID. THIS FORM MUST BE INSERTED IN A SEPARATE SEALED ENVELOPE BEARING ON ITS FACE THE NAME AND ADDRESS OF THE BIDDER AND NOTING "SUBCONTRACTOR LIST". THIS SEALED ENVELOPE MUST BE ENCLOSED IN THE SEALED ENVELOPE CONTAINING THE BID.

Name of Subcontractor	Address and Phone Number of Subcontractor	Base Bid Amount to be Paid to Subcontractor

ARTICLE 5

NON-COLLUSION BIDDING CERTIFICATION:

By submission of this bid, each bidder and each person signing on behalf of any bidder certifies, and in the case of a joint bid, each party there to certifies as to its own organization, under penalty of perjury, that to the best of knowledge and belief:

1. The prices in this bid have been arrived at independently without collusion, consultation, communication or agreement, for the purpose of restricting competition, as to any matter relating to such prices with any other bidder or with any competitor;
2. Unless otherwise required by law, the prices which have been quoted in this bid have not been knowingly disclosed by the bidder and will not knowingly be disclosed by the bidder prior to opening, directly or indirectly, to any other bidder or to any competitor; and
3. No attempt has been made or will be made by the bidder to induce any other person, partnership or corporation to submit or not to submit, a bid for the purpose of restricting competition.

In compliance with this invitation for bids, and subject to the conditions thereof, the undersigned offers and agrees, if this bid is accepted within (30) thirty days from the date of opening, to furnish any and all of the items upon which prices are submitted.

Sincerely Yours,

Bidder: _____

By: _____

Signature of Authorized Representative

Title: _____

Address: _____

Phone Number: _____

Date: _____

MUST COMPLETE THIS FORM AND SUBMIT THIS FORM WITH BID

ARTICLE 6

INDEMNIFICATION AGREEMENT

The Contractor agrees:

- (a) that except for the amount, if any, of damage contributed to, caused by or resulting from the negligence of the Land Bank, the Contractor agrees to indemnify and hold harmless the Land Bank, its officers, directors, representatives, employees and agents from and against any and all liability, damage, claims, demands, costs, judgments, fees (including all reasonable attorney's fees and disbursements), causes of action, suits, penalties, obligations or loss of any nature arising directly or indirectly out of (1) the performance or failure to perform hereunder by the Contractor or third parties under the direction or control of the Contractor; or (2) the malfeasance, misfeasance, nonfeasance, negligence, unlawful act or omission, or intentional misconduct of the Contractor or third parties under the direction or control of the Contractor arising out of or in connection with this Agreement or the work contemplated therein; and
- (b) to provide defense for and defend, at its sole expense, any and all claims, demands or causes of action directly or indirectly arising out of the Agreement and to bear all other costs and expenses related thereto.

Sincerely Yours,

Bidder: _____

By: _____

Signature of Authorized Representative

Title: _____

Address: _____

Phone Number: _____

Date: _____

MUST COMPLETE THIS FORM AND SUBMIT THIS FORM WITH BID

ARTICLE 7

CERTIFICATION REGARDING DEBARMENT, SUSPENSION AND RESPONSIBILITY

The undersigned certified, to the best of his/her knowledge and belief, that the Contractor and its principals:

1. Are not presently debarred, suspended, proposed for debarment, declared ineligible, or voluntarily excluded from covered transactions by any Federal or State department or agency;
2. Have not within a three-year period preceding the Agreement been convicted of or had a civil judgment rendered against them for commission of fraud or a criminal offense in connection with obtaining, attempting to obtain, or performing a public (Federal, State or Local) transaction or contract under a public transaction; violation of Federal or State antitrust statutes or commission of embezzlement, theft, forgery, bribery, falsification or destruction of records, making false statements, or receiving stolen property;
3. Are not presently indicted or otherwise criminally or civilly charged by a government entity (Federal, State or Local) with commission of any of the offenses enumerated in paragraph (2) of this certification; and
4. Have not within a three-year period preceding the Agreement had one or more public transactions (Federal, State or Local) terminated for cause or default.

Sincerely Yours,

Bidder: _____

By: _____

Signature of Authorized Representative

Title: _____

Address: _____

Phone Number: _____

Date: _____

MUST COMPLETE THIS FORM AND SUBMIT THIS FORM WITH BID

ARTICLE 8

CERTIFICATION OF COMPLIANCE WITH THE IRAN DIVESTMENT ACT

Certification Pursuant to Section 103-g
of the New York State
General Municipal Law

- A. By submission of this bid/proposal, each bidder/proposer and each person signing on behalf of any bidder/proposer certifies, and in the case of a joint bid, each party thereto certifies as to its own organization, under penalty of perjury, that to the best of its knowledge and belief that each bidder is not on the list created pursuant to paragraph (b) of subdivision 3 of Section 165-a of the New York State Finance Law.
- B. A Bid/Proposal shall not be considered for award, nor shall any award be made where the condition set forth in Paragraph A above has not been complied with; provided, however, that in any case the bidder/proposer cannot make the foregoing certification set forth in Paragraph A above, the bidder/proposer shall so state and shall furnish with the bid a signed statement which sets forth in detail the reasons therefor. Where Paragraph A above cannot be complied with, the Purchasing Unit to the political subdivision, public department, agency or official thereof to which the bid/proposal is made, or his designee, may award a bid/proposal, on a case by case business under the following circumstances:
1. The investment activities in Iran were made before April 12, 2012, the investment activities in Iran have not been expanded or renewed after April 12, 2012, and the Bidder/Proposer has adopted, publicized and is implementing a formal plan to cease the investment activities in Iran and to refrain from engaging in any new investments in Iran; or
 2. The political subdivision makes a determination that the goods or services are necessary for the political subdivision to perform its functions and that, absent such an exemption, the political subdivision would be unable to obtain the goods or services for which the contract is offered. Such determination shall be made in writing and shall be a public document.

I, _____, being duly sworn, deposes and says that he/she is the _____ of the _____ Corporation and that neither the Bidder/Contractor nor any proposed subcontractor is identified on the Prohibited Entities List.

SIGNED

Sworn to before me this _____ Day of _____, 202__

Notary Public

MUST COMPLETE THIS FORM AND SUBMIT WITH BID

ARTICLE 9

CERTIFICATION REGARDING LOBBYING

The undersigned certifies, to the best of his or her knowledge and belief, that:

1. No federal appropriated funds have been paid or will be paid, by or on behalf of the Undersigned, to any person for influencing or attempting to influence an officer or employee of an agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with the awarding of any federal contract, the making of any federal grant, the making of any federal loan, the entering into of any cooperative agreement, and the extension, continuation, renewal, amendment, or modification of any federal contract, grant, loan, or cooperative agreement.
2. If any funds other than federal appropriated funds have been paid or will be paid to any person for influencing or attempting to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with this federal contract, grant, loan, or cooperative agreement, the undersigned shall complete and submit Standard Form LLL, "Disclosure Form to Report Lobbying," in accordance with its instructions.
3. The undersigned shall require that the language of this certification be included in the award documents for all* sub-awards at all tiers (including sub-contacts, sub-grants, and Contracts under grants, loans, and cooperative agreements) and that all* sub-recipients shall certify and disclose accordingly.

This certification is a material representation of fact upon which reliance was placed when this transaction was made or entered into. Submission of this certification is a prerequisite for making or entering into this transaction imposed by Section 1352, Title 31, U.S. Code. Any person who fails to file the required certification shall be subject to a civil penalty of not less than \$10,000 and not more than \$100,000 for each such failure.

Grantee/Contractor Organization

Program/Title

Name of Certifying Official

Signature

Date: _____

MUST COMPLETE THIS FORM AND SUBMIT WITH BID

Equal Employment Opportunity (EEO) Policy Statement

- a. The LCLBC will not discriminate against any employee or applicant for employment because of race, creed, color, national origin, sex, age, disability or marital status, will undertake or continue existing programs of affirmative action to ensure that minority group members are afforded equal employment opportunities without discrimination, and shall make and document its conscientious and active efforts to employ and utilize minority group members and women in its work force on State contracts.
- b. All Respondents to this RFP will be afforded equal employment opportunities without discrimination because of race, creed, color, national origin, sex disability or marital status.
- c. At the request of the LCLBC's Grantor funding this project, the LCLBC shall request each employment agency, labor union, or authorized representative for a statement that it will not discriminate on the basis of race, creed, color, national origin, sex, age, disability or marital status and that such union or representative will affirmatively cooperate in the implementation of this organization's obligations herein.
- d. The hired Respondent shall comply with the provisions of the Human Rights Law, all other state and federal statutory and constitutional non-discrimination provisions. Respondent and all subconsultant(s) shall not discriminate against any employee or applicant for employment because of race, creed (religion), color, sex, national origin, sexual orientation, military status, age, disability, predisposing genetic characteristic, marital status or domestic violence victim status, and shall also follow the requirements of the Human Rights Law with regard to nondiscrimination on the basis of prior criminal conviction and prior arrest.
- e. The LCLBC will include the provisions of sections (a) through (d) of this agreement in every contract in such a manner that the requirements of the subdivisions will be binding upon each contractor as to work in connection with the grant contract.

MWBE Policy Statements

LCLBC is required by the Homes and Community Renewal (HCR) grant agreement to achieve twenty (20) percent MBE and ten (10) percent WBE participation. The LCLBC will and will cause its contractors and subcontractors to take good faith actions to achieve the M/WBE contract participation goals set by the State for that area in which the State-funded project is located, by taking the following steps:

- a. Actively and affirmatively solicit bids for contracts and subcontracts from qualified State certified MBEs or WBEs, including solicitations to M/WBE contractor associations.
- b. Request a list of State-certified M/WBEs from Agency(ies) and solicit bids from them directly.
- c. Ensure that plans, specifications, request for proposals and other documents used to secure bids will be made available in sufficient time for review by prospective M/WBEs.
- d. Where feasible, divide the work into smaller portions to enhanced participations by M/WBEs and encourage the formation of joint venture and other partnerships among M/WBE contractors to enhance their participation.
- e. Document and maintain records of bid solicitation, including those to M/WBEs and the results thereof. Contractor will also maintain records of actions that its subcontractors have taken toward meeting M/WBE contract participation goals.
- f. Ensure that progress payments to M/WBEs are made on a timely basis so that undue financial hardship is avoided, and that bonding and other credit requirements are waived or appropriate alternatives developed to encourage M/WBE participation.

MUST COMPLETE THIS FORM AND SUBMIT WITH BID

**STANDARD CLAUSES
FOR HOUSING TRUST FUND CORPORATION CONTRACTS**

By submission of this proposal, each respondent and each person signing on behalf of any firm agree to be bound by the following clauses if entered into a contract.

- A. Contracting with Business Conducting Business in Russia. In accordance with New York State Executive Order No. 16 (“EO 16”), by signing this Agreement, the Recipient certifies and affirms that it
- o does not conduct business operations in Russia within the meaning of EO 16;
 - o does conduct business operations in Russia within the meaning of EO 16 but has taken steps to wind down business operations in Russia or is in the process of winding down business operations in Russia; and/or
 - o does conduct business operations in Russia within the meaning of EO 16 but only to the extent necessary to provide health and safety services within Russia or to comply with Federal law, regulations, executive orders, or directives. A copy of EO 16 may be downloaded at: https://www.governor.ny.gov/sites/default/files/2022-03/EO_16.pdf.
- B. Iran Divestment Act. By entering into this Agreement, Recipient certifies in accordance with State Finance Law 165-a that it is not on the list of “Entities Determined to be Non-Responsive Bidders/Offerers pursuant to the New York State Iran Divestment Act of 2012” (“Prohibited Entities List”) posted at: <https://ogs.ny.gov/list-ntities-determined-be-non-responsive-biddersofferers-pursuant-nys-iran-divestment-act-2012>.

Recipient further certifies that it will not utilize on this Agreement any subcontractor that is identified on the Prohibited Entities List. Recipient agrees that should it seek to renew or extend this Agreement, it must provide the same certification at the time the Agreement is renewed or extended. Recipient also agrees that any proposed Assignee of this Agreement will be required to certify that it is not on the Prohibited Entities List before the contract assignment will be approved by the Corporation.

During the term of the Agreement, should the Corporation receive information that a person (as defined in State Finance Law §165-a) is in violation of the above-referenced certifications, the Corporation will review such information and offer the person an opportunity to respond. If the person fails to demonstrate that it has ceased its engagement in the investment activity which is in violation of the Act within 90 days after the determination of such violation, then the Corporation shall take such action as may be appropriate and provided for by law, rule, or contract, including, but not limited to, imposing sanctions, seeking compliance, recovering damages, or declaring the Recipient in default.

The Corporation reserves the right to reject any bid, request for assignment, renewal, or extension for an entity that appears on the Prohibited Entities List prior to the award,

assignment, renewal, or extension of a contract, and to pursue a responsibility review with respect to any entity that is awarded a contract and appears on the Prohibited Entities List after contract award.

- C. Affordable Care Act. By entering into this Agreement, Recipient acknowledges that it is the sole responsibility of the Recipient to provide and maintain all Affordable Care Act (“ACA”) requirements/benefits. The ACA mandates employers with 50 or more full-time equivalents to offer coverage to full-time employees and their dependents or pay taxes if an employee obtains Exchange coverage and a premium tax credit. (Exchange coverage allows you to use the State’s insurance exchange marketplace to obtain coverage from competing private health care providers.) Employees of the Recipient providing services to the Corporation are employees of the Recipient and are not employed by the Corporation nor the State of New York.

Firm Name

Address

Signature

Name/Title

Date

Phone Number

APPENDIX A

The parties to the attached contract, license, lease, amendment or other agreement of any kind (hereinafter "the contract" or "this contract") agree to be bound by the following clauses which are hereby made a part of the contract. The word "Contractor" herein refers to any party to the contract, other than the Livingston County Land Bank Corporation (herein after "Land Bank").

- I. **NON-ASSIGNMENT CLAUSE.** In accordance with Section 109 of the **General Municipal Law**, this contract may not be assigned by the contractor or its right, title or interest there in assigned, transferred, conveyed, sublet or otherwise disposed of without the previous consent, in writing, of the Land Bank and any attempts to assign the contract without the Land Bank's written consent are null and void.
- II. **WORKER'S COMPENSATION BENEFITS.** In accordance with Section 108 of the **General Municipal Law**, this contract shall be void and of no force and effect unless the Contractor shall provide and maintain coverage during the life of this contract for the benefit of such employees as are required to be covered by the provisions of the **Workers' Compensation Law**.
- III. **NON-DISCRIMINATION REQUIREMENTS.** In accordance with Article 15 of the **Executive Law** (also known as the **Human Rights Law**) and all other State and Federal statutory and constitutional non-discrimination provisions, the Contractor will not discriminate against any employee or applicant for employment because of race, creed, color, sex, national origin, age, disability or marital status. Furthermore, in accordance with Section 220-e of the **Labor Law**, if this is a contract for the construction, alteration or repair of any public building or public work or for the manufacture, sale or distribution of materials, equipment or supplies, and to the extent that this contract shall be performed within the State of New York, Contractor agrees that neither it nor its subcontractors shall, by reason of race, creed, color, disability, sex or national origin: (a) discriminate in hiring against any New York State citizen who is qualified and available to perform the work; or (b) discriminate against or intimidate any employee hired for the performance of work under this contract. If this is a building service contract as defined in Section 230 of the **Labor Law**, then, in accordance with Section 239 thereof, Contractor agrees that neither it nor its subcontractors shall, by reason of race, creed, color, national origin, age, sex or disability: (a) discriminate in hiring against any New York State citizen who is qualified and available to perform the work; or (b) discriminate against or intimidate any employee hired for the performance of work under this contract.
- IV. **HOURS PROVISIONS.** If this is a public work contract covered by Article 8 of the **Labor Law** or a building service contract covered by Article 9 thereof, neither Contractor's employees nor the employees of its subcontractors may be required or permitted to work more than the number of hours or days stated in said statute, except as otherwise provided in the Labor Law and as set forth in prevailing wage and supplement schedules issued by the State Labor Department.
- V. **NON-COLLUSIVE BIDDING REQUIREMENT.** In accordance with Section 103-d of the **General Municipal Law**, if this contract was awarded based upon the submission of bids, Contractor warrants, under penalty of perjury, that its bid was arrived at independently and without collusion aimed at restricting competition. Contractor further warrants that, at the time Contractor submitted its bid, an authorized and responsible person executed and delivered to the Land Bank a non-collusive bidding certification on Contractor's behalf.
- VI. **SET-OFF RIGHTS.** The Land Bank shall have all of its common law and statutory rights of set-off. These rights shall include, but not be limited to, the Land Bank's option to withhold for the purposes of set-off any moneys due to the Contractor under this contract up to any amounts due and owing to the Land Bank with regard to this contract.

- VII. **RECORD-KEEPING REQUIREMENT.** The Contractor shall establish and maintain complete and accurate books, records, documents, accounts and other evidence directly pertinent to performance under this contract for a period of six (6) years following final payment or the termination of this contract, whichever is later, and any extensions thereto. Any person or entity authorized to conduct an examination, as well as the agency or agencies involved in this contract, shall have access to such books, records, documents, accounts and other evidential material during the contract term, extensions thereof and said six (6) year period thereafter for the purposes of inspection, auditing and copying. "Termination of this contract", as used in this clause 10, shall mean the later of completion of the work of the contract or the end date of the term stated in the contract.
- VIII. **CONFLICTING TERMS.** In the event of a conflict between the terms of the contract (including any and all attachments thereto and amendments thereof) and the terms of this Appendix A, the terms of this Appendix A shall control.
- IX. **GOVERNING LAW.** This contract shall be governed by the laws of the State of New York except where the Federal supremacy clause requires otherwise.
- X. **NO ARBITRATION AND SERVICE OF PROCESS.** Disputes involving this contract, including the breach or alleged breach thereof, may not be submitted to binding arbitration (except where statutorily authorized) but must, instead, be heard in a court of competent jurisdiction of the State of New York. All actions shall be venued in Livingston County. Contractor hereby consents to service of process upon it by registered or certified mail, return receipt requested.
- XI. **BUDGETED FUNDS.** This contract is executory only to the extent of funds available and the Land Bank shall incur no liability beyond the funds appropriated therefore.
- XII. **APPROVAL OF BOARD OF DIRECTORS.** This contract is subject to and conditioned upon approval by the Livingston County Land Bank Corporation's Board of Directors.
- XIII. **INCORPORATION.** The main contract contains a paragraph incorporating the terms of this appendix by reference and the parties herein have further signed and dated this appendix.

Livingston County Land Bank Corporation

Contractor
(Signature of Authorized Official Required)

APPENDIX B

The parties to the attached contract, license, lease, amendment or other agreement of any kind (hereinafter "the contract" or "this contract") agree to be bound by the following clauses which are hereby made a part of the contract. The word "Contractor" herein refers to any party to the contract, other than the Livingston County Land Bank Corporation (herein after "Land Bank").

- I. The Land Bank shall have the right to postpone, suspend, abandon or terminate this contract, and such actions shall in no event be deemed a breach of contract. In the event of any termination, postponement, delay, suspension or abandonment, the Contractor shall deliver to the Land Bank all data, reports, plans, or other documentation related to the performance of this contract, including but not limited to guarantees, warranties, as-built plans and shop drawings. In any of these events, the Land Bank shall make settlement with the Contractor upon an equitable basis as determined by the Land Bank, which shall fix the value of the work which was performed by the Contractor prior to the postponement, suspension, abandonment or termination of this contract. This clause shall not apply to this contract if the contract contains other provisions, exclusive of termination date, applicable to postponement, suspension or termination of the contract.
- II. The Contractor agrees that it will indemnify and save harmless the Land Bank from and against all losses from claims, demands, payments, suits, actions, recoveries and judgments of every nature and description brought or recovered against it by reason of and to the extent of any negligent omission or act of the contractor, its agents, employees, or subcontractors in the performance of this contract. This indemnification shall include all costs and disbursements incurred by the Land Bank in defending any suit, including attorneys' fees. Furthermore, at the option of the Land Bank, the Contractor shall provide defense for and defend all claims, demands and causes of action referred to above, and bear all other costs and expenses related thereto. The Contractor shall not be required to indemnify the Land Bank for any damage or loss arising out of the negligence or willful misconduct of the Land Bank, its agents or employees.
- III.
 - A. The Contractor warrants that to the best of the contractor's knowledge and belief, there are no relevant facts or circumstances which could give rise to an organizational conflict of interest, as herein defined, or that the Contractor has disclosed all such relevant information to the Land Bank.
 - B. An organizational conflict of interest exists when the nature of the work to be performed under this contract may, without some restriction on future activities, either result in an unfair competitive advantage to the Contractor or impair the Contractor's objectivity in performing the work for the Land Bank.
 - C. The Contractor agrees that if an actual or potential organizational conflict of interest is discovered after award, the contractor will make a full disclosure in writing to the Land Bank. This disclosure shall include a description of actions which the Contractor has taken or proposes to take, after consultation with the Land Bank, to avoid, mitigate, or minimize the actual or potential conflict.
 - D. Remedies - The Land Bank may terminate this contract in whole or in part, if it deems such termination necessary to avoid an organizational conflict of interest. If the Contractor was aware, or discovered an actual or potential conflict after award and did not disclose or misrepresented relevant information to the Land Bank, the Land Bank may terminate the contract, or pursue such other remedies as may be permitted by the law or this contract. The terms of Clause I of this Appendix B or other applicable contract provision regarding termination shall apply to termination by the Land Bank pursuant to

this clause.

E. The Contractor further agrees to insert in any subcontract hereunder, provisions which shall conform to the language of this clause.

IV. All requests for payment by the Contractor must be submitted on forms supplied and approved by the Land Bank. Each payment request must contain such items of information and supporting documentation as required by the Land Bank, and shall be all inclusive for the period of time covered by the payment request.

V. To the extent that federal funds are provided to the Contractor under this contract, the Contractor agrees that it will comply with all applicable federal laws and regulations, including but not limited to those laws and regulations under which the Federal funds were authorized.

The Contractor further agrees to insert in any subcontract hereunder, provisions which shall conform substantially to the language of this clause, including this paragraph.

VI. The Contractor shall have the status of an independent contractor, and in accordance with such status, agrees that it will conduct itself in a manner consistent with such status, and that it will neither hold itself out as, nor claim to be, an officer or employee of the Land Bank by reason of this contract. It further agrees that it will not make against the Land Bank any claim, demand or application to or for any right or privilege applicable to an officer or employee of the Land Bank, including but not limited to worker's compensation coverage, unemployment insurance benefits, social security coverage, or retirement membership or credit.

VII. In the event of a conflict between the terms between this Appendix B and the terms of the Contract (including any and all attachments thereto and amendments thereof, but not including Appendix A), the terms of this Appendix B shall control. In the event of a conflict between the terms of this Appendix B and Appendix A, the terms of Appendix A shall control.

VIII. The main contract shall contain a paragraph incorporating the terms of this appendix by reference and the parties therein shall further sign and date this appendix.

Livingston County Land Bank Corporation

Contractor
(Signature of Authorized Official Required)

APPENDIX C

LIVINGSTON COUNTY LAND BANK CORPORATION STANDARD CONTRACT INSURANCE REQUIREMENTS

- I. Notwithstanding any terms, conditions or provisions, in any other writing between the parties, the contractor hereby agrees to effectuate the naming of the Livingston County Land Bank Corporation as an additional insured on the contractor's insurance policies, with the exception of workers' compensation and professional errors and omissions. **The contractor must provide an additional insured endorsement.** A statement on the contractor's insurance certificate that the Livingston County Land Bank Corporation is an additional insured is **not** sufficient. The form of the additional insured endorsement must be approved by the Livingston County Land Bank Corporation's Attorney.
- II. The policy naming the Livingston County Land Bank Corporation as an additional insured shall:
 - Be an insurance policy from an A.M. Best rated "secured" New York State licensed insurer;
 - State that the organization's coverage shall be primary coverage for the Livingston County Land Bank Corporation, its Board, employees and volunteers. Any insurance maintained by the Livingston County Land Bank Corporation shall be in excess of the contractor's insurance, and shall not contribute with it.
- III. The contractor agrees to indemnify the Livingston County Land Bank Corporation for any applicable deductibles or self insurance reserves.
- IV. Required Insurance:
 - **Commercial General Liability Insurance, including Completed Operations Coverage for construction contracts**
\$1,000,000 per occurrence/ \$2,000,000 aggregate per project.
 - **Automobile Liability**
\$1,000,000 combined single limit for owned, hired and borrowed and non-owned motor vehicles.
 - **Workers' Compensation**
Statutory Workers' Compensation and Employers' Liability Insurance for all employees.
 - **Owners Contractors Protective Insurance (Generally required only for construction contracts)**
\$1,000,000 per occurrence/\$2,000,000 aggregate, with the Livingston County Land Bank Corporation as the named insured.
 - **Professional Errors and Omissions Insurance (If professional service contract)**
\$1,000,000 per occurrence/ \$2,000,000 aggregate for the negligent professional acts of the contractor.
- V. The contractor is to provide the Livingston County Land Bank Corporation with a certificate of insurance, evidencing the above requirements have been met, prior to the commencement of work or use of facilities and upon each renewal thereafter. **Contractor or its insurance carrier(s) shall provide the Livingston County Land Bank Corporation with thirty (30) days prior written notice of cancellation, reduction of insurance or material coverage change of the required insurance policies. Such notice shall be mailed to the Livingston County Land Bank Corporation, Livingston County Government Center, 6 Court Street, Room 305, Geneseo, New York 14454 and**

shall include the date and subject matter of the original contract. Contractor acknowledges that failure to obtain such insurance on behalf of the Livingston County Land Bank Corporation, or the failure to provide such notices, constitutes a material breach of contract and subjects it to liability for damages, indemnification and all other legal remedies available to the Livingston County Land Bank Corporation, including termination of the contract. The failure of the Livingston County Land Bank Corporation to object to the contents of the certificate or the absence of same shall not be deemed a waiver of any and all rights held by the Livingston County Land Bank Corporation.

- VI. If at any time any of the policies required herein shall be or become unsatisfactory to the Livingston County Land Bank Corporation, as to form or substance, or if a company issuing any such policy shall be or become unsatisfactory to the Land Bank, the contractor shall upon notice to that effect from the Land Bank, promptly obtain approval and submit a certificate thereof. Upon failure of the contractor to furnish, deliver, and maintain such insurance, the Agreement, at the election of the Land Bank, may be declared suspended, discontinued or terminated. Failure of the contractor to take out, maintain, or the taking out or maintenance of any required insurance, shall not relieve the contractor from any liability under the Agreement, nor shall the insurance requirements be construed to conflict with or otherwise limit the contractual obligations of the contractor concerning indemnification. All property losses shall be made payable to and adjusted with the Land Bank.

In the event that claims, for which the Livingston County Land Bank Corporation may be liable, in excess of the insured amounts provided herein are filed by reason of any operations under the Agreement, the amount of excess or such claims or any portion thereof, may be withheld from payment due or to become due the contractor until such time as the contractor shall furnish such additional security covering such claims in form satisfactory to the Land Bank.

VII. **ADDITIONAL INSURED ENDORSEMENT AND CERTIFICATE OF INSURANCE:**

The contractor shall file with the Livingston County Land Bank Corporation, prior to commencing work under this contract, an additional insured endorsement and a Certificate of Insurance, which shall include:

- a. Name and address of insured
- b. Issue date of certificate
- c. Insurance company name
- d. Type of coverage in effect
- e. Policy number
- f. Inception and expiration dates of policies included on certificate
- g. Limits of liability for all policies included on certificate
- h. Certificate holder shall be Livingston County Land Bank Corporation, Livingston County Government Center, 6 Court Street, Room 305, Geneseo, New York 14454-1043.
- i. Description of contract for which insurance is being provided.
- j. Insurance agents name, address and phone number.

Contractor
(Signature of Authorized Official Required)

Date

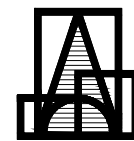
PROPERTY RENOVATIONS AT
36 SOUTH STREET
LEICESTER, NY 14481

PREPARED FOR:
LIVINGSTON COUNTY LAND BANK CORPORATION
6 COURT STREET – ROOM 305
GENESEO, NEW YORK 14454

PREPARED BY:



LIRO ENGINEERS INC.
85 ALLEN STREET
ROCHESTER, NEW YORK 14608



Architectura^{PC}
17 PITKIN STREET, SUITE 100
ROCHESTER, NEW YORK 14607

INDEX OF DRAWINGS

DRAWING No:	TITLE
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G-100	36 SOUTH ST. - SITE LOCATION AND TAX MAP
G-101	36 SOUTH ST. - SITE PLAN
EC-1	EXISTING CONDITION FLOOR PLANS
D-1	DEMOLITION FLOOR PLANS
A-0	BASEMENT FLOOR PLAN
A-1	FIRST AND SECOND FLOOR PLANS
U-101	36 SOUTH ST. - BASEMENT UTILITY CONSTRUCTION PLAN
U-102	36 SOUTH ST. - FIRST FLOOR UTILITY CONSTRUCTION PLAN
U-103	36 SOUTH ST. - SECOND FLOOR UTILITY CONSTRUCTION PLAN
H-101	36 SOUTH ST. - HAZARDOUS BUILDING MATERIAL ABATEMENT PLAN

WARNING

IT IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, OTHER THAN THOSE WHOSE SEAL APPEARS ON THIS DRAWING, TO ALTER IN ANY WAY AN ITEM ON THIS DRAWING. IF AN ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

BID DOCUMENTS
SEPTEMBER 2025

W:\Private\21-198-2831 - Livingston Community Revitalization Initiative\Design\36 South St - Design\G-001.dwg 9/30/2025 9:41 AM

GENERAL NOTES:

1. THE INFORMATION PROVIDED IN THESE DRAWINGS IS FOR GUIDANCE PURPOSES ONLY. THE DRAWINGS MAY NOT REPRESENT ACTUAL AS-BUILT DIMENSIONS AND SIZES. NO ADDITIONAL PAYMENT WILL BE MADE TO THE CONTRACTOR IF THE INFORMATION PROVIDED IN THE DRAWINGS VARIES FROM THE EXISTING CONDITIONS.
2. ANY DAMAGE RESULTING FROM CONTRACTORS ACTIONS DURING THE EXECUTION OF THE PROJECT TO ANY NEIGHBORING PROPERTY OUTSIDE THE PROJECT LIMITS INCLUDING BUT NOT LIMITED TO STRUCTURES, ROADWAYS, TREES, UTILITIES AND SIGNS SHALL BE REPLACED IN KIND AT THE CONTRACTOR'S EXPENSE.
3. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, RULES AND REGULATIONS.
4. THE CONTRACTOR SHALL RESEARCH, SECURE AND PAY FOR ALL PERMITS, MUNICIPAL APPROVALS, FEES AND SIMILAR ITEMS REQUIRED TO COMPLETE THE WORK.
5. THE CONTRACTOR SHALL MAINTAIN SITE CONDITIONS AND PREVENT TRACKING OR FLOWING OF SEDIMENT, SOIL, AND/OR DEBRIS ONTO PUBLIC RIGHT-OF-WAYS OR ONTO ADJACENT PROPERTIES. THE CONTRACTOR SHALL KEEP CLEAN AND FREE ALL SIDEWALKS, STREETS, DRIVES AND OTHER PAVEMENTS FROM SEDIMENT, SOIL, AND/OR DEBRIS AS A RESULT OF CONTRACTOR'S WORK.
6. THE CONTRACTOR SHALL SUPPLY ALL TEMPORARY WATER, NATURAL GAS, AND ELECTRIC SUPPLY REQUIRED FOR EXECUTION OF THE CONTRACT WORK. THE CONTRACTOR SHALL INCLUDE SETUP, SUPPLY, PAYMENT AND DISMANTLEMENT COSTS FOR TEMPORARY WATER, HEAT, AND POWER SERVICE IN THE CONTRACTOR'S LUMP SUM BID PRICE.
7. ALL COSTS FOR ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, PERMITS AND INCIDENTALS REQUIRED TO COMPLETE THE CONTRACT WORK SHALL BE INCLUDED IN THE CONTRACTOR'S LUMP SUM BID PRICE.
8. ALL DISPOSAL OF CONTRACT DERIVED WASTES SHALL BE IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL CODES, RULES AND REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ALL DISPOSAL COSTS.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SECURITY AND CONTROL OF THE PROJECT SITE WITHIN THE PROJECT LIMITS THROUGHOUT THE DURATION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL OF CONTRACTOR'S OWN EQUIPMENT AND SHALL BE RESPONSIBLE TO REPLACE IN KIND AT CONTRACTOR'S EXPENSE ANY DAMAGE OR LOSS TO THE PROPERTY DUE TO THE INABILITY OF THE CONTRACTOR TO MAINTAIN SECURITY AND CONTROL OF THE PROPERTY.
10. THE CONTRACTOR SHALL PROVIDE SECURITY SUCH THAT SITE ACCESS IS LIMITED TO AUTHORIZED PERSONNEL.
11. THE CONTRACT DRAWINGS ARE INTENDED TO BE COMPLIMENTARY TO THE CONTRACT, AND PROJECT MANUAL. ALL WORK AND MATERIALS MENTIONED IN ONE DOCUMENT BUT NOT MENTIONED IN THE OTHERS SHALL BE FURNISHED AND PERFORMED AND DONE AS IF THE SAME WERE MENTIONED IN ALL DOCUMENTS.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, TRANSPORT, AND DISPOSAL OF ALL PERTINENT HAZARDOUS WASTES AND UNIVERSAL WASTES IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES, RULES, AND REGULATIONS.
13. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ON SITE FEATURES (NOT INCLUDED IN PROJECT) AS IDENTIFIED ON THE PROJECT DRAWINGS. DAMAGE CAUSED BY THE CONTRACTOR TO ANY SUCH FEATURES SHALL BE REPAIRED OR REPLACED IN KIND BY THE CONTRACTOR AT NO EXPENSE TO THE OWNER.

UTILITY NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER CONNECTION AND PROTECTION OF SITE UTILITIES (GAS, ELECTRICITY, WATER, SEWER) FEEDING THE STRUCTURE TO BE RENOVATED. THE CONTRACTOR SHALL COORDINATE UTILITY CONNECTS WITH THE PROPERTY OWNER AND OWNER OF EACH UTILITY, AS APPLICABLE.
2. THE CONTRACTOR SHALL PROTECT AND MAINTAIN THROUGHOUT THE PROJECT DURATION EXISTING STORM SEWER MANHOLES, CATCH BASINS AND DRAIN INLETS DESIGNATED TO REMAIN AS A FINISHED CONDITION.

ASBESTOS CONTAINING MATERIAL (ACM) REMOVAL NOTES:

1. CONTRACTOR SHALL FURNISH ALL LABOR, MATERIAL, EQUIPMENT, AND SERVICES, NECESSARY TO PERFORM THE WORK REQUIRED FOR ASBESTOS ABATEMENT IN ACCORDANCE WITH CONTRACT DOCUMENTS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, RULES, AND REGULATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, TRANSPORT AND DISPOSAL OF ALL ASBESTOS CONTAINING MATERIALS IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE AND LOCAL CODES, RULES, AND REGULATIONS INCLUDING, BUT NOT LIMITED TO, 12 NYCRR PART 56 (CODE RULE 56), 40 CFR PART 61 (NESHAP), AND 29 CFR 1926.1101 (OSHA ASBESTOS STANDARD).
3. ANY DISTURBANCE OF ASBESTOS CONTAINING MATERIALS (ACM) SHALL BE PERFORMED BY A NYSDOL LICENSED ASBESTOS ABATEMENT CONTRACTOR EMPLOYING CERTIFIED WORKERS.
4. CONTRACTOR SHALL DEVELOP AND IMPLEMENT A WRITTEN STANDARD PROCEDURE FOR ABATEMENT WORK TO ENSURE MAXIMUM PROTECTION AND SAFEGUARD FROM ASBESTOS EXPOSURE OF THE WORKERS, VISITORS, EMPLOYEES, GENERAL PUBLIC, AND THE ENVIRONMENT.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL NYSDOL AND USEPA NOTIFICATION, FILING AND VARIANCE FEES. MULTIPLE FILINGS, NOTIFICATIONS AND VARIANCES MAY BE REQUIRED.
6. THE CONTRACTOR SHALL RECEIVE APPROVAL FOR ALL VARIANCES FROM THE ENGINEER PRIOR TO REQUESTING SUCH VARIANCE FROM A REGULATORY AGENCY. THE ENGINEER RETAINS THE RIGHT TO REJECT ANY VARIANCE PETITION WHICH IN THE SOLE OPINION OF THE ENGINEER PUTS ADDITIONAL BURDEN OR COST ON THE OWNER, THE ENGINEER, OR THE PROJECT MONITOR.
7. CONTRACTOR SHALL PROVIDE SIGNS, LABELS, WARNINGS, AND POST INSTRUCTIONS THAT ARE NECESSARY TO PROTECT, INFORM AND WARN PEOPLE OF THE HAZARD FROM ASBESTOS EXPOSURE. POST IN A PROMINENT AND CONVENIENT PLACE FOR THE WORKERS A COPY OF THE LATEST APPLICABLE REGULATIONS FROM OSHA, EPA, AND NYSDOL.
8. SHOWER AND WASTEWATER MUST BE COLLECTED AND FILTERED THROUGH A SYSTEM WITH AT LEAST 5.0 MICRON PARTICLE SIZE FILTRATION CAPACITY AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL CODES, RULES AND REGULATIONS. THE CONTAMINATED FILTERS SHALL BE DISPOSED OF AS ASBESTOS WASTE.
9. CONTRACTOR SHALL PROVIDE SUFFICIENT GFCI PROTECTED ELECTRIC TO ALL LOCATIONS AS REQUIRED BY THE THIRD PARTY PROJECT MONITOR TO ACCOMMODATE PROJECT REQUIRED AIR SAMPLING.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE JOB SITE AND DETERMINING ALL QUANTITIES, MEASUREMENTS, AND ANY OTHER CONDITIONS RELATIVE TO THE ENTIRE PROJECT. THE DRAWINGS ARE ONLY A DIAGRAMMATICAL REPRESENTATION OF THE WORK AREAS AND MAY NOT CONSTITUTE THE ACTUAL QUANTITIES AND LOCATIONS OF THE MATERIAL. CONTRACTOR IS RESPONSIBLE FOR CONFIRMATION OF THE ACTUAL TOTAL QUANTITIES AND LOCATIONS OF THE WORK PRIOR TO BIDDING.
11. SHOULD SUSPECT ACM BE IDENTIFIED WHICH ARE NOT SHOWN ON THE CONTRACT DRAWINGS OR SURVEY, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO CONDUCTING ANY WORK THAT COULD DISTURB THE SUSPECT ACM. IF DEEMED NECESSARY BY THE ENGINEER, THE ENGINEER WILL ARRANGE FOR SAMPLING AND ANALYSIS OF THE SUSPECT ACM AND WILL PROVIDE THE CONTRACTOR WITH THE RESULTS. THE CONTRACTOR SHALL NOT PERFORM SAMPLING WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.
12. ALL LOCATIONS OF ACM ARE APPROXIMATE. THE PRESENCE OF ACM IN LOCATIONS OTHER THAN THOSE PROVIDED IN THE CONTRACT DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY OF ITS REMOVAL AND DISPOSAL IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

WARNING

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LiRo Engineers, Inc.
85 Allen Street
Rochester, New York

PROJ. ENG.:
J.R.P.

DESIGNED BY:
J.R.P.

CHECKED BY:
S.B.T.

DRAWN BY:
A.M.K.

CLIENT:

LIVINGSTON COUNTY
LAND BANK CORPORATION

DATE:
SEPTEMBER 2025

SCALE:
AS SHOWN

JOB TITLE AND LOCATION:

PROPERTY RENOVATIONS AT
36 SOUTH STREET, LEICESTER, NY 14481

DRAWING TITLE:

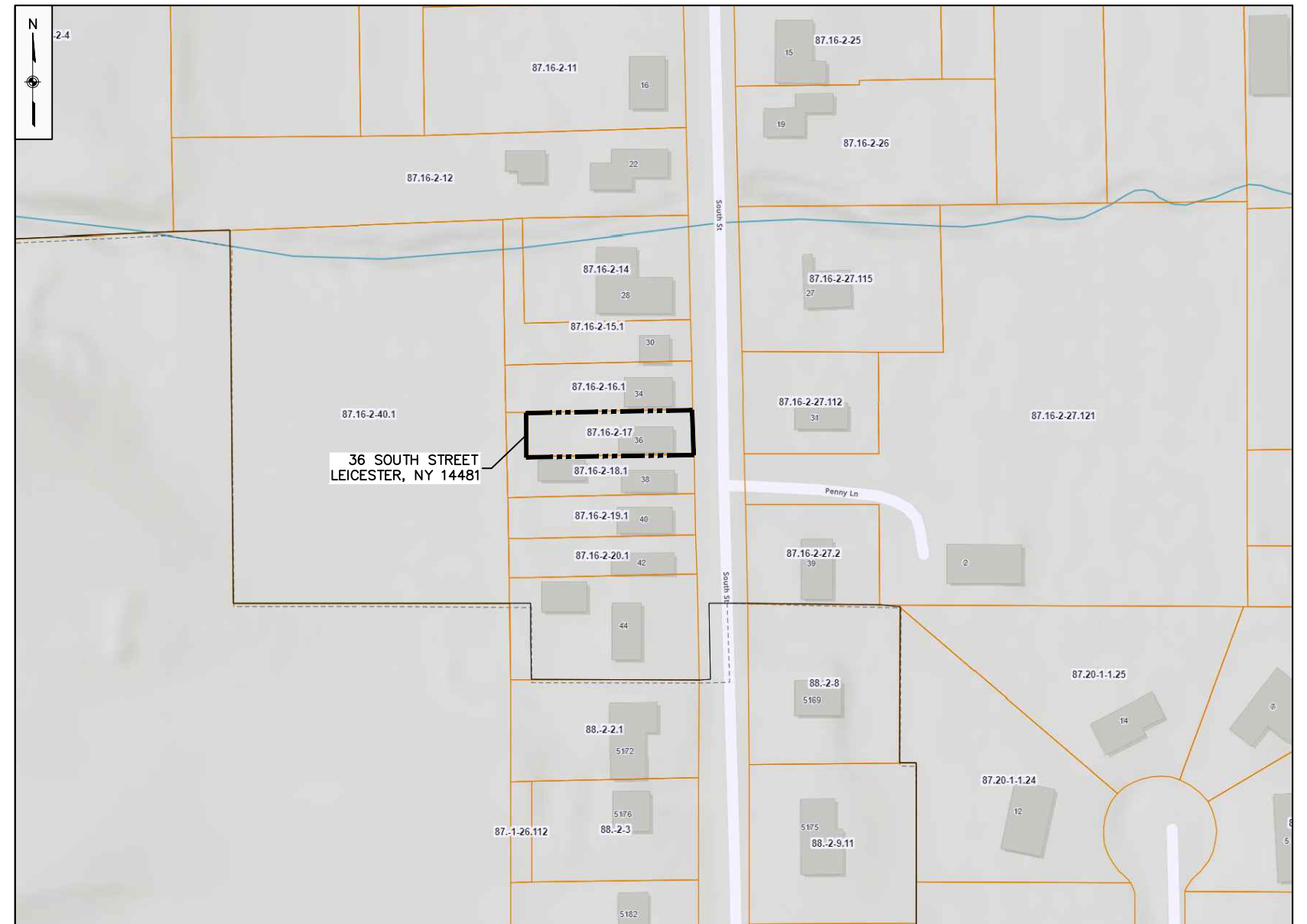
DRAWING NOTES

LIRO JOB NO.:
21-198-2831

SHEET OF
2 12

FIGURE NO.

G-001



WARNING

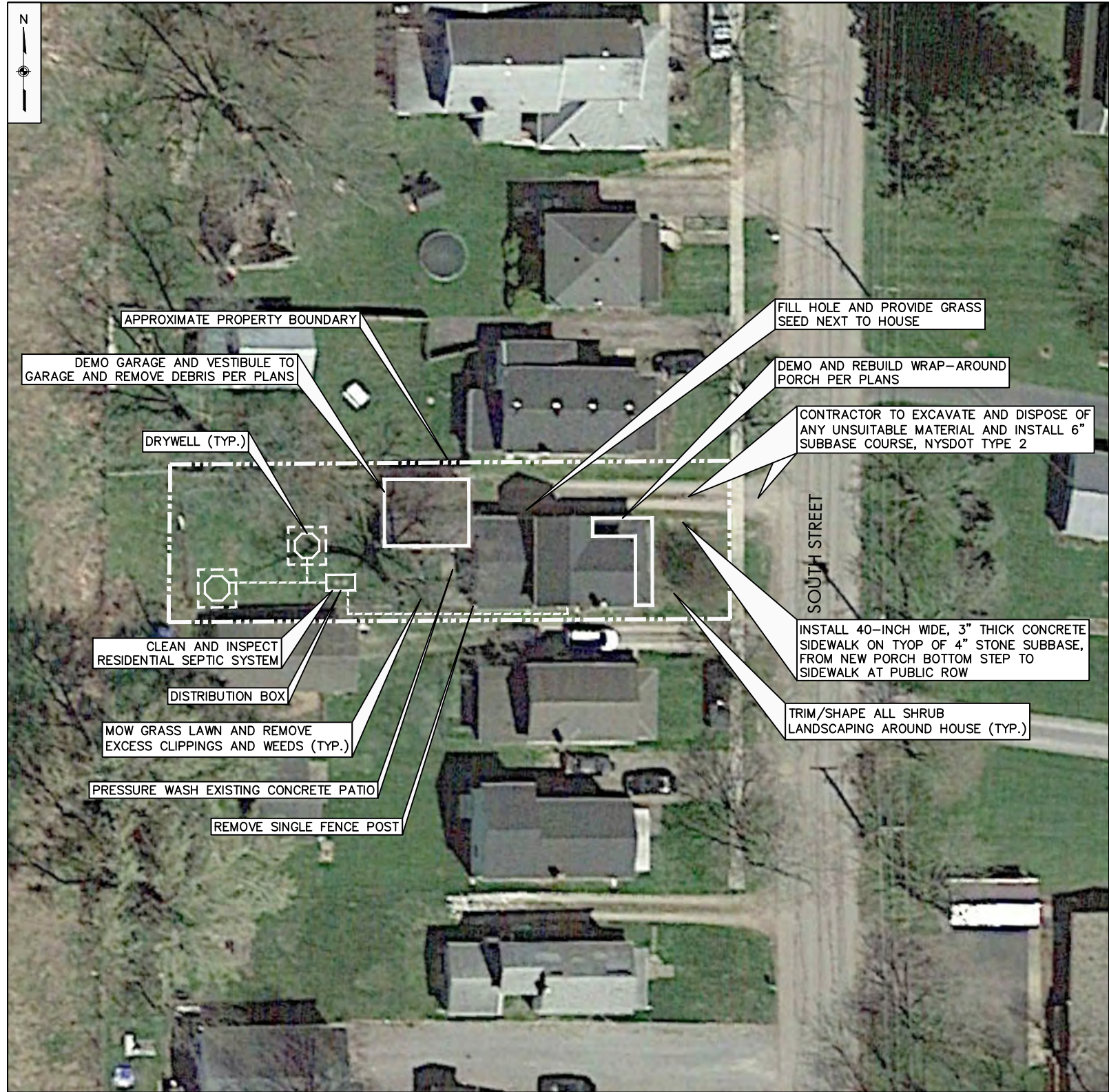
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NO.	DATE	DESCRIPTION
REVISIONS		



LiRo Engineers, Inc.
85 Allen Street
Rochester, New York

PROJ. ENG.: J.R.P.	CLIENT: LIVINGSTON COUNTY LAND BANK CORPORATION		JOB TITLE AND LOCATION:		LIRO JOB NO.:
DESIGNED BY: J.R.P.			PROPERTY RENOVATIONS AT 36 SOUTH STREET, LEICESTER, NY 14481		21-198-2831
CHECKED BY: S.B.T.			DRAWING TITLE:		SHEET 3 OF 12
DRAWN BY: A.M.K.	DATE: SEPTEMBER 2025	SCALE: NOT TO SCALE	36 SOUTH ST. SITE LOCATION AND TAX MAP		FIGURE NO. G-100



LANDSCAPE SCOPE



BUILDING PHOTO

W:\Private\21-198-2831 - Livingston Community Revitalization Initiative\Design\36 South St - Design\G-101.dwg 9/26/2025 11:50 AM

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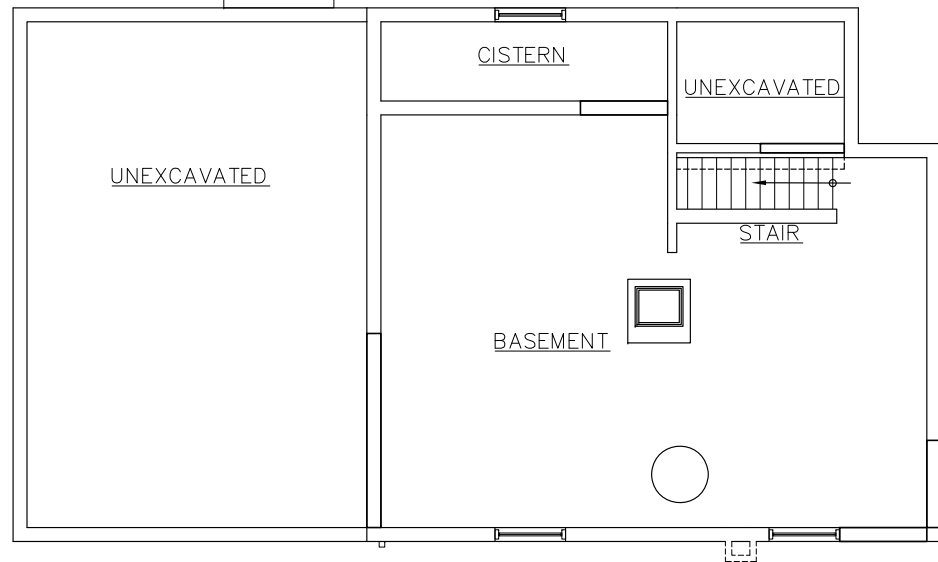
NO.	DATE	DESCRIPTION
REVISIONS		



LiRo Engineers, Inc.
85 Allen Street
Rochester, New York

PROJ. ENG.: J.R.P.	CLIENT: LIVINGSTON COUNTY LAND BANK CORPORATION	
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CHECKED BY: S.B.T.		
DRAWN BY: A.M.K.		
DATE: SEPTEMBER 2025	SCALE: NOT TO SCALE	

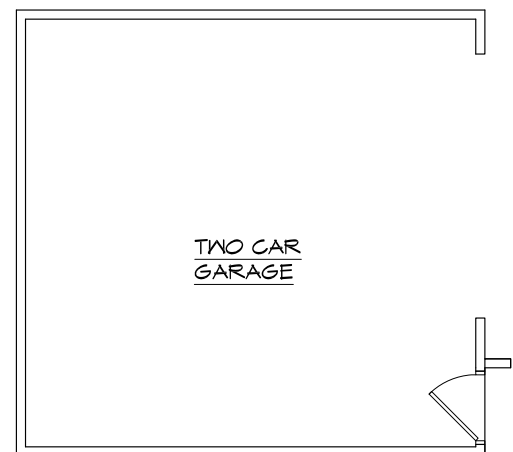
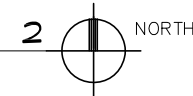
JOB TITLE AND LOCATION: PROPERTY RENOVATIONS AT 36 SOUTH STREET, LEICESTER, NY 14481		LIRO JOB NO.: 21-198-2831
DRAWING TITLE: 36 SOUTH ST. SITE PLAN		SHEET 3 OF 12
		FIGURE NO. G-101



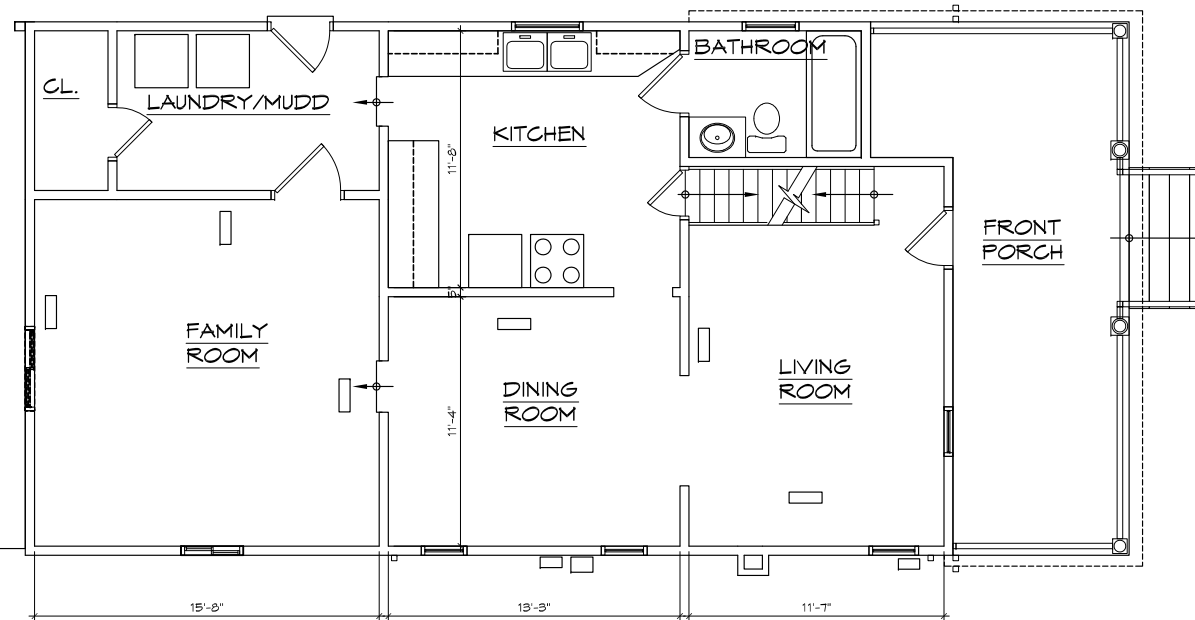
BASEMENT PLAN
1/4" = 1'-0"



SECOND FLOOR PLAN
1/4" = 1'-0"



PATIO



FIRST FLOOR PLAN
1/4" = 1'-0"



NOT TO SCALE



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**INTERIOR AND EXTERIOR
RENOVATIONS AND
IMPROVEMENTS**

36 SOUTH STREET, LEICESTER, NY
FOR: LIVINGSTON COUNTY LAND BANK

PROJECT NO.: 126813
CHECKED BY: SBT
DRAWN BY: SBT
DATE: 10-01-2025

REVISIONS:
A

ISSUED FOR
CONSTRUCTION

SHEET NAME
EXISTING CONDITION
FLOOR PLANS

SHEET NO.
EC-1

DEMOLITION GENERAL NOTES:

1. DEMOLITION: CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING CONSTRUCTION AS NEEDED TO CONSTRUCT THE RENOVATIONS. REMOVE ANY FLOOR FINISHES AND WALL FINISHES AS NEEDED AND AS INDICATED ON THE FLOOR PLANS.

2. REMOVALS: REMOVE DEMOLISHED MATERIALS FROM THE WORK SITE, EXCEPT ITEMS TO BE REUSED OR TURNED OVER TO THE OWNER. DISPOSE OF REMOVED MATERIALS IN A LEGAL MANNER. KEEP THE WORK SITE AND SURROUNDING AREAS CLEANED ON A REGULAR BASIS.

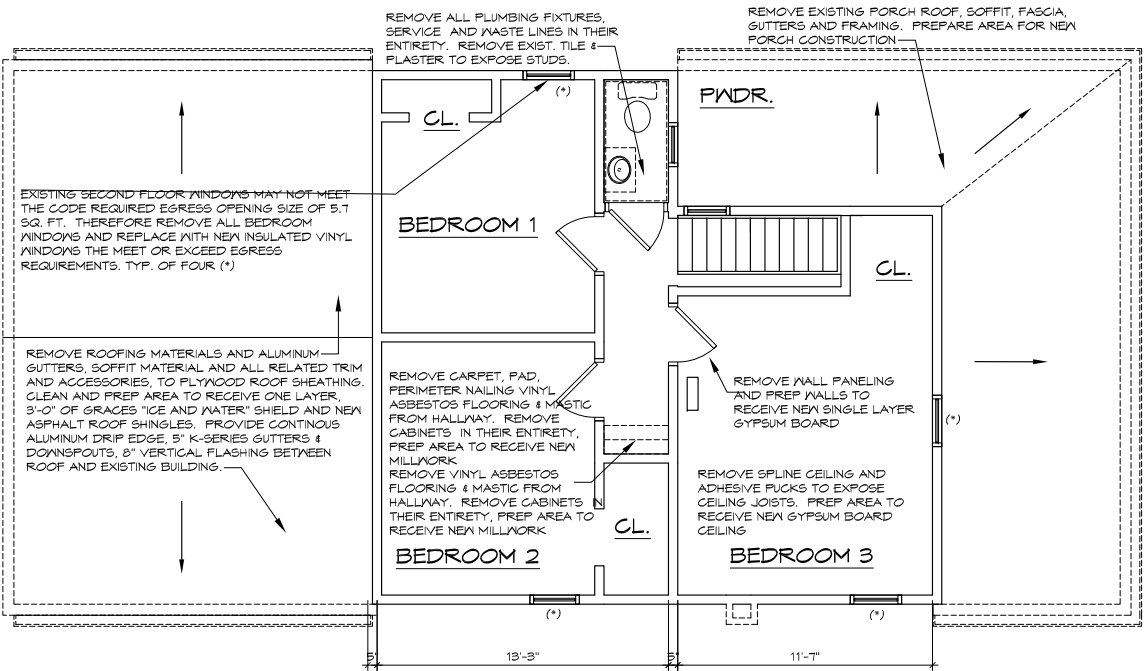
3. MECH. & ELECT. REMOVALS: AT RENOVATION AREA, REMOVE PLUMBING, HVAC AND ELECTRICAL ITEMS AS INDICATED ON DEMOLITION PLAN AND AS OTHERWISE NEEDED TO PROVIDE THE ASSOCIATED ALTERATIONS.

4. SALVAGE & RE-USE: FIXTURES AND MATERIALS THAT ARE REMOVED IN THE RENOVATION AREA MAY BE RE-USED IF APPROPRIATE TYPE, IF IN CLEAN & EXCELLENT CONDITION, AND IF APPROVED BY OWNER.
5. SAFETY: THE CONTRACTOR SHALL PROVIDE SAFETY FEATURES SUCH AS BARRICADES AND SIGNAGE TO PREVENT THE PUBLIC FROM ACCESS TO WORK AREAS. CONTRACTORS SHALL STORE TOOLS AND CONSTRUCTION MATERIALS IN LOCKED AREAS WHEN UNATTENDED BY CONSTRUCTION PERSONNEL.

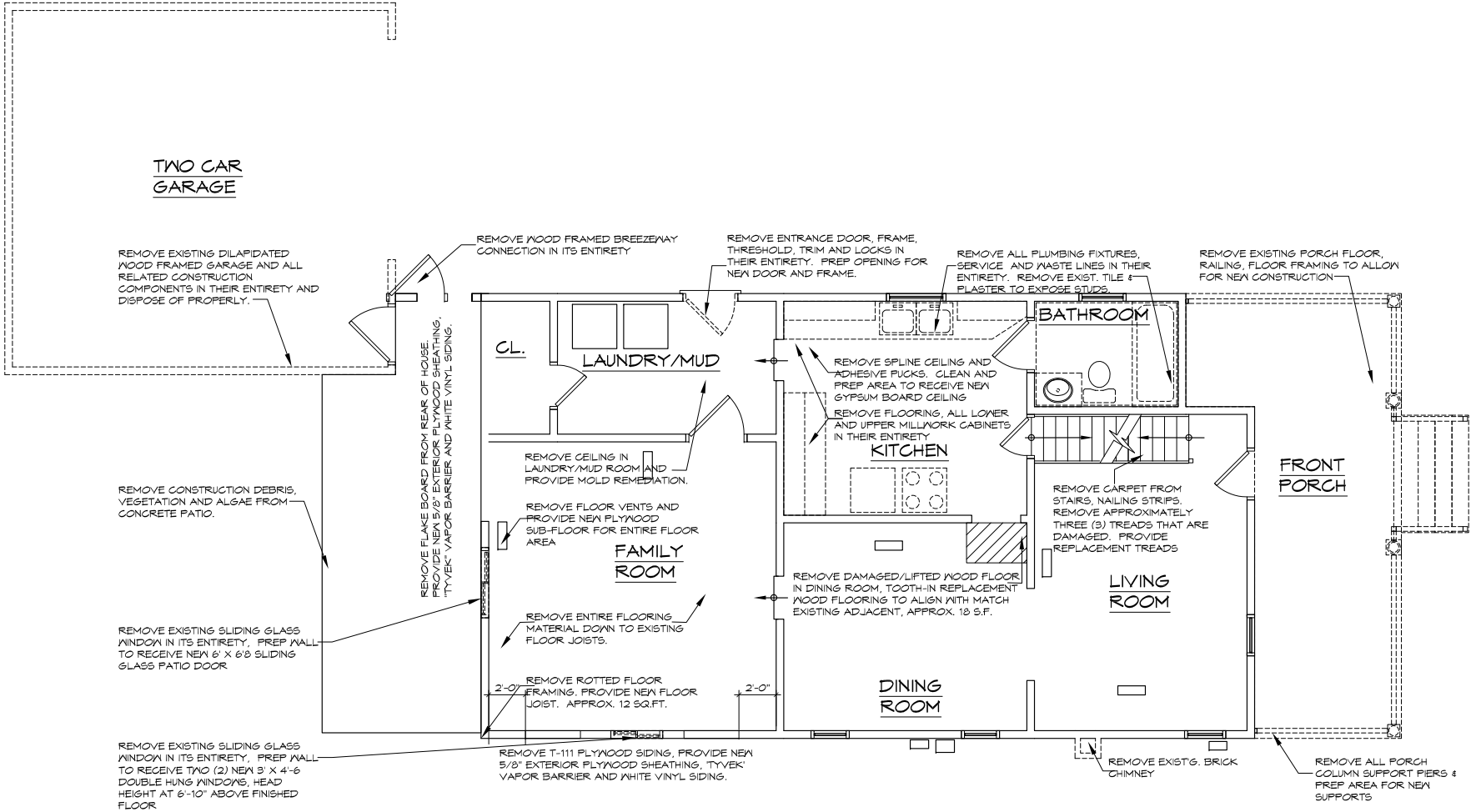
6. COORDINATION: DEMOLITION WORK WHICH PRODUCES NOISE, DUST, VAPORS, OR DISRUPTION OF UTILITIES TO THE EXISTING ADJACENT NEIGHBORS SHALL BE COORDINATED WITH THE OWNER.

7. PATCHING: PATCH AND REPAIR EXISTING MATERIALS DAMAGED DURING DEMOLITION WITH MATERIALS TO MATCH EXISTING ADJACENT. PROVIDE SMOOTH SURFACES AT FLOORS AND WALLS WHERE PATCHED.

8. FLOORING REMOVAL: WHERE NEW FLOORING IS INDICATED ON THE PLANS, REMOVE EXISTING CARPET OR VCT FLOORING; CLEAN & SMOOTH SUB-SURFACE AS NEEDED IN PREPARATION FOR NEW FLOORING FINISHES.



SECOND FLOOR DEMOLITION PLAN 2
1/4" = 1'-0" NORTH



FIRST FLOOR DEMOLITION PLAN 1
1/4" = 1'-0" NORTH

NOT TO SCALE

ArchitecturaPC

17 PITKIN STREET, SUITE 100
ROCHESTER, NEW YORK 14607

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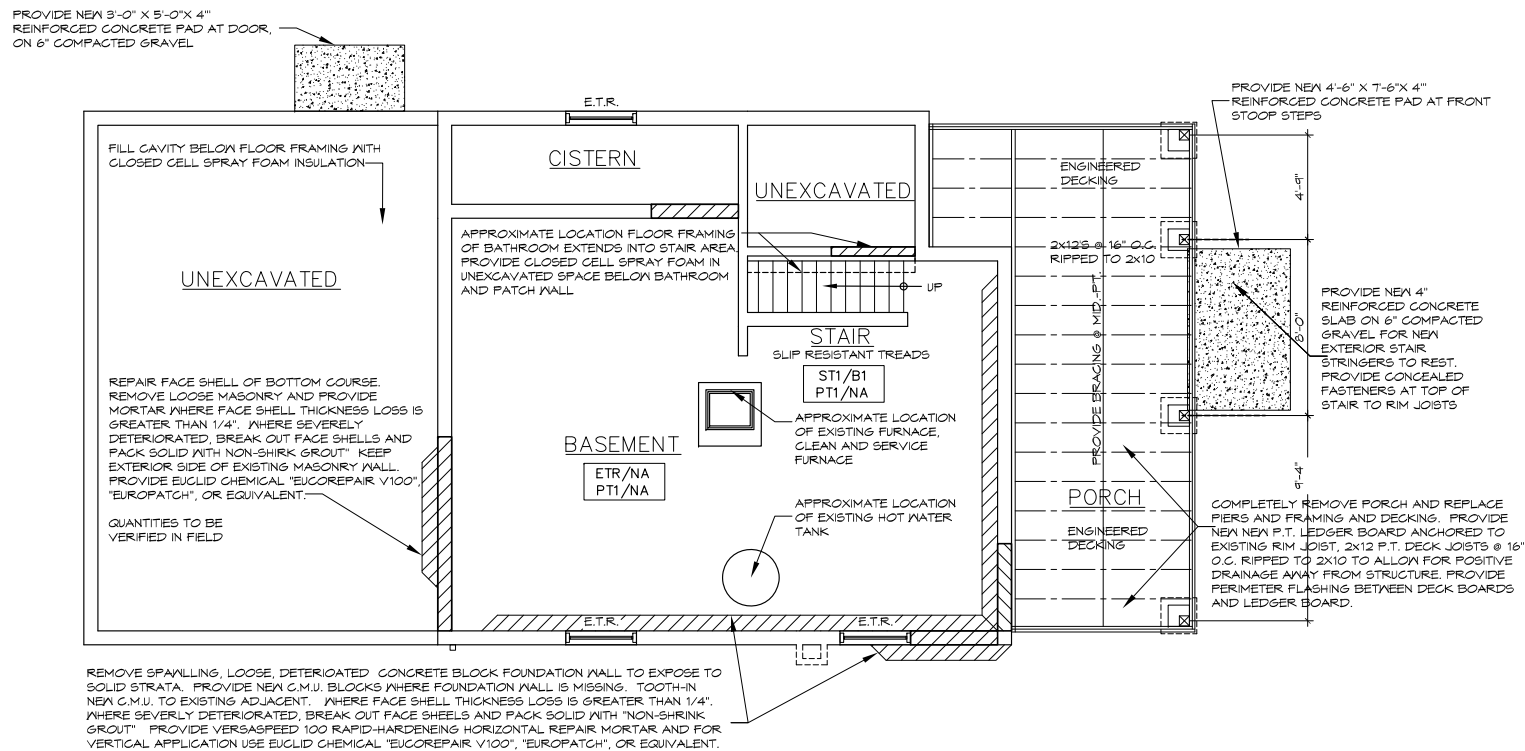


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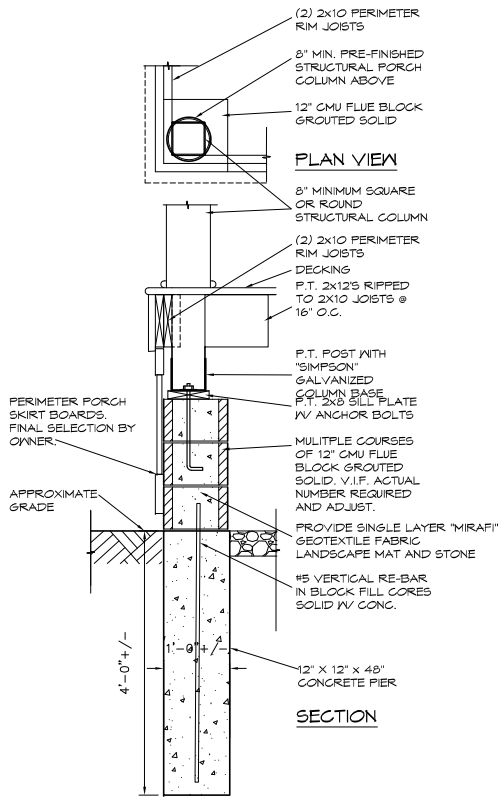
INTERIOR AND EXTERIOR RENOVATIONS AND IMPROVEMENTS

36 SOUTH STREET, LEICESTER, NY
FOR: LIVINGSTON COUNTY LAND BANK

PROJECT NO.:	126819
CHECKED BY:	SBT
DRAWN BY:	SBT
DATE:	10-01-2025
REVISIONS:	
ISSUED FOR CONSTRUCTION	
SHEET NAME	DEMOLITION FLOOR PLANS
SHEET NO.	D-1

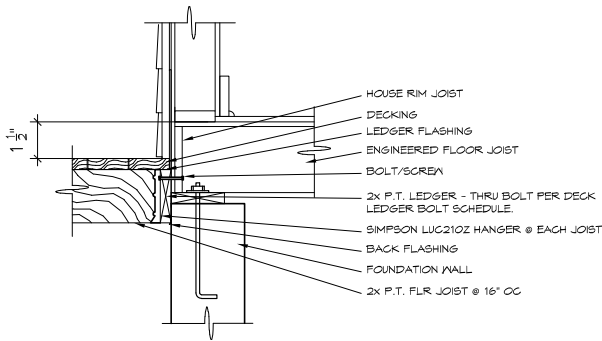


BASEMENT FLOOR PLAN
1/4" = 1'-0"



PORCH PIER DETAIL
3/4" = 1'-0"

3



PORCH LEDGER DETAIL
1" = 1'-0"

2

NOT TO SCALE



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INTERIOR AND EXTERIOR
RENOVATIONS AND
IMPROVEMENTS

36 SOUTH STREET, LEICESTER, NY
FOR: LIVINGSTON COUNTY LAND BANK

PROJECT NO.: 126813
CHECKED BY: SBT
DRAWN BY: SBT
DATE: 10-01-2025

REVISIONS:



ISSUED FOR
CONSTRUCTION

SHEET NAME
BASEMENT FLOOR
PLAN

SHEET NO.
A-0

ROOM FINISH SCHEDULE					
PRODUCT	SYMBOL	MANUFACTURER	STYLE	COLOR	REMARKS
WALLS					
PAINT	PT1	SHERWIN WILLIAMS	EGGSHELL	SW7008 – ALABASTER	FIELD COLOR
PAINT	PT2	SHERWIN WILLIAMS	SEMI-GLOSS	SW6227 – MEDITATIVE	ACCENT COLOR – DOORS AND DOOR FRAMES
WALL BASE	ETR	WOOD	TRADITIONAL	STAIN	+/- 6"
WALL COVERING	WC1	ETR	ETR	ETR	CLEAN & REPAIR
FLOORING					
LUXURY VINYL	LVT1	TARKETT	I.D. WOOD	T.B.D.	3' x 8' x 1/16" THICK
FLOOR	WD1	STAIN	STAIN	STAIN T.B.D.	SAND, PREP AND INSTALL PER MANUF. STANDARDS
WOOD BASE	B1	E.T.R.	STAIN	STAIN T.B.D.	SAND, PREP AND INSTALL PER MANUF. STANDARDS
STAIR – MAIN	WD2	STAIN	STAIN	STAIN T.B.D.	SAND, PREP AND INSTALL PER MANUF. STANDARDS
STAIR – B'MENT	ST1	TARKETT	HAMMER – HRT 20	TA4 – GATEWAY	PRE-FABRICATED TREAD, INSTALL PER MANUF. STANDARDS
MILLWORK: PAINT ALL CABINETS IN KITCHEN, REPLACE ALL CABINET PULLS, HANDLES, COUNTERTOPS, AND BACK-SPLASHES. PROVIDE CAULK AT ALL JOINTS.					
P. LAM	PL1	E.T.R.	E.T.R.	E.T.R.	THOROUGHLY CLEAN KITCHEN AND BOTH BATHROOMS
	–	–	–	–	INCLUDING INSIDE CABINETS TO REMAIN

1. EACH BEDROOM CLOSET SHALL INCLUDE A ROD AND SHELF; VERIFY WITH OWNER FOR THE HEIGHT ABOVE THE FLOOR TO INSTALL THE ROD AND SHELF.
2. THOROUGHLY CLEAN BASEMENT, FIRST AND SECOND FLOORS OF ALL EXISTING DEBRIS. BROOM CLEAN ALL HORIZONTAL SURFACES. CLEAN ALL HORIZONTAL SURFACES OF ANY SPALLED, CRACKED, DAMAGED TORN MATERIALS OR FINISHES. PATCH & PREP SURFACE TO RECEIVE NEW SCHEDULED FINISH.
3. RETURN ALL BATTERY OPERATED BEDROOM SMOKE DETECTORS TO FULL WORKING AND OPERATING CONDITION. REPLACE ALL NON-FUNCTIONING SMOKE DETECTORS WITH APPROVED U.L. RATED UNITS
4. RETURN ALL FLOORS ACCEPTABLE TO RECEIVE A CERTIFICATE OF OCCUPANCY FROM THE OWNER FROM THE AUTHORITY HAVING JURISDICTION
5. REMOVE AND REPLACE DAMAGED OR BROKEN SIDING. PROVIDE MATCHING SIDING MATERIAL. PROVIDE MISSING VENTED SOFFIT MATERIAL TO ALIGN WITH AND MATCH EXISTING. PROVIDE ALUMINUM DOWNSPOUTS TO PREFABRICATED CONCRETE SPLASH BLOCKS AT EACH DOWNSPOUT.
6. PROVIDE HARDWARE ALLOWANCE TO REPAIR, REPLACE OR PROVIDE FULLY FUNCTIONAL DOOR HANDLE OPERATION AND LOCKS FOR INTERIOR AND EXTERIOR DOORS.
7. REPLACE DOORS THAT ARE IRREPARABLE WITH SUITABLE REPLACEMENT.
8. REMOVE FLAKED, CHIPPED AND STAINED PAINT FROM HORIZONTAL SHIP-LAP WOOD SIDING, WINDOW AND DOOR TRIM, PRIME AND PAINT. COLOR TO BE SEMI-GLOSS WHITE EXTERIOR HOUSE PAINT.

DESIGNATES APPROXIMATE LOCATION OF A HARD-WIRED COMBINATION SMOKE DETECTIONS AND CARBON MONOXIDE DETECTING ALARM DEVICE INSTALLED IN THE CEILING.

1. REMOVE EXISTING WOOD DECK BOARDS, PERIMETER FRAMING, MASONRY SUPPORT PIERS AND ALL RELATED FRAMING COMPONENTS IN THEIR ENTIRETY.
2. PRESSURE TREATED 2X12 @ 16" O.C. CUT FOR A TAPER ON TOP EDGE OF 1/4" PER FOOT MIN. SLOPE OF PORCH DECKING, PROVIDE . COMPOSITE DECK BOARDS.
3. STAIR TREADS SHALL BE MIN. 11", PLUS 1" NOSING; STAIR RISERS SHALL BE T" MAXIMUM HEIGHT.
4. GUARD RAILS AT FRONT PORCH AND REAR PORCH, STRENGTH AS REQUIRED BY THE 2020 BUILDING CODES OF N.Y.S. 3'-0" GUARD RAIL HEIGHT ABOVE PORCH FLOOR.
5. PER ICC/ANSI A117.1: TOP OF HANDRAILS SHALL BE 34" TO 36" ABOVE STAIR NOSING; HANDRAILS SHALL EXTEND 12" HORIZONTALLY PAST THE TOP NOSING OF A RUN OF STAIR; HANDRAILS SHALL EXTEND 12" PAST THE BOTTOM NOSING OF A RUN OF STAIR AT THE SLOPE OF THE STAIR; SUCH HANDRAIL EXTENSIONS ARE NOT REQUIRED WHERE RETURNING AROUND TO AN ADJACENT RUN OF STAIR.
6. HANDRAIL GRIP SIZE SHALL BE 1 1/4" DIA. MIN. TO 1 1/2" DIA. MAX.; HANDRAILS SHALL BE A MINIMUM OF 1 1/2" CLEAR FROM WALL SURFACES;
7. HANDRAILS SHALL BE SECURELY ATTACHED TO WALLS AND GUARDS WITH HANDRAIL BRACKETS SPACED AT 3'-0" +/- O.C. HORIZONTALLY; THE ENDS OF HANDRAILS SHALL RETURN TO A WALL, A NEWEL POST, OR TO THE FLOOR.
8. HANDRAILS SHALL BE A MINIMUM OF 34" ABOVE FINISH FLOOR AT LANDINGS AND AT ALL STAIR NOSING; WHEN CONSTRUCTED WITH BALUSTERS, THERE SHALL BE NO OPENINGS LARGE ENOUGH TO ALLOW PASSAGE OF A 4" SPHERE.
9. 8" MIN. DIA. OR SQUARE COLONIAL STYLE, HEIGHT BEARING COLUMN, TURNGRANT POLY-CLASSIC, OR EQUAL, PAINTED, METAL CLIP ANGLES AND SCREWS TO SECURE TOP OF COLUMN TO HEADER, SEE COLUMN MANUF. INSTRUCTIONS.
10. 2X12 LEDGER ATTACHED TO EXISTING RIM JOIST WITH (3) SIMPSON S.D.A.S. TIMBER SCREWS X 4" LONG @ 16" O.C.
11. CONCRETE COLUMN FOOTING, 16" FLUE BLOCK, REINFORCED WITH 4" FIVE BRICK BENEATH EACH PORCH COLUMN. #4 DONUT 2'-0" VERT. WITH 4" HOOK, FOOTING TO BLOCK, GROUT SOLID

EXISTING CONSTRUCTION TO REMAIN

NEW STUD PARTITION

EXISTING CONSTRUCTION TO BE REMOVED

NEW OR RELOCATED DOOR & FRAME

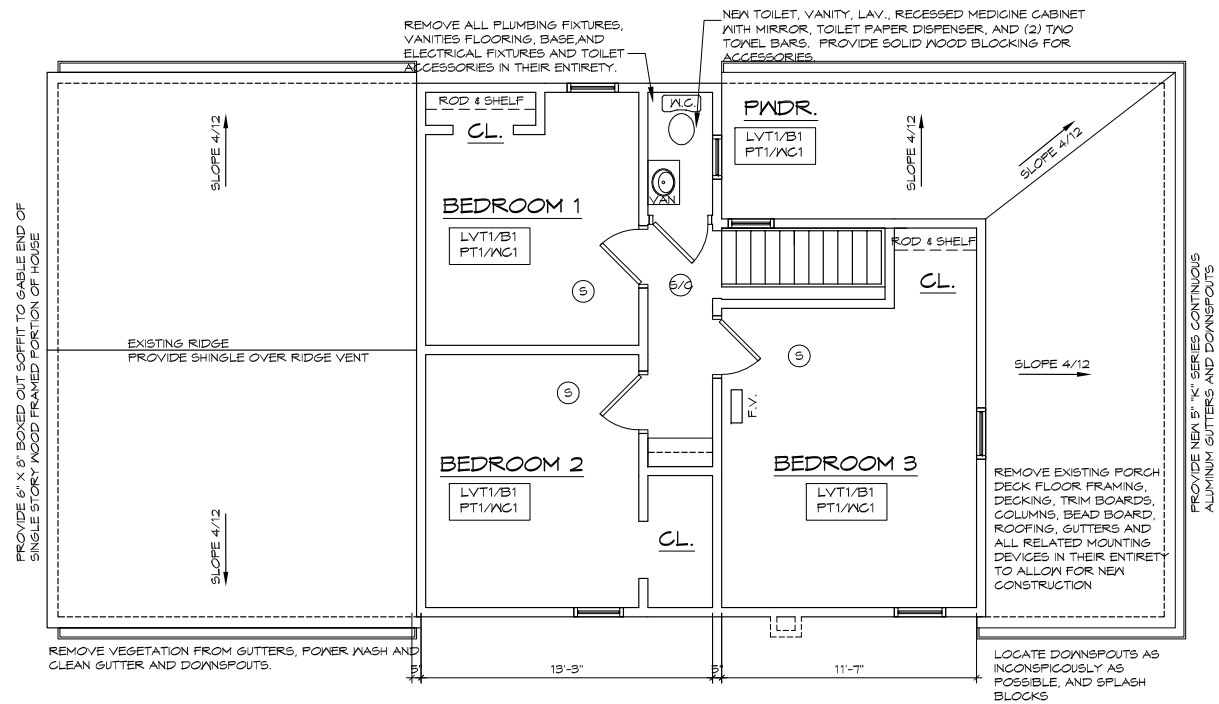
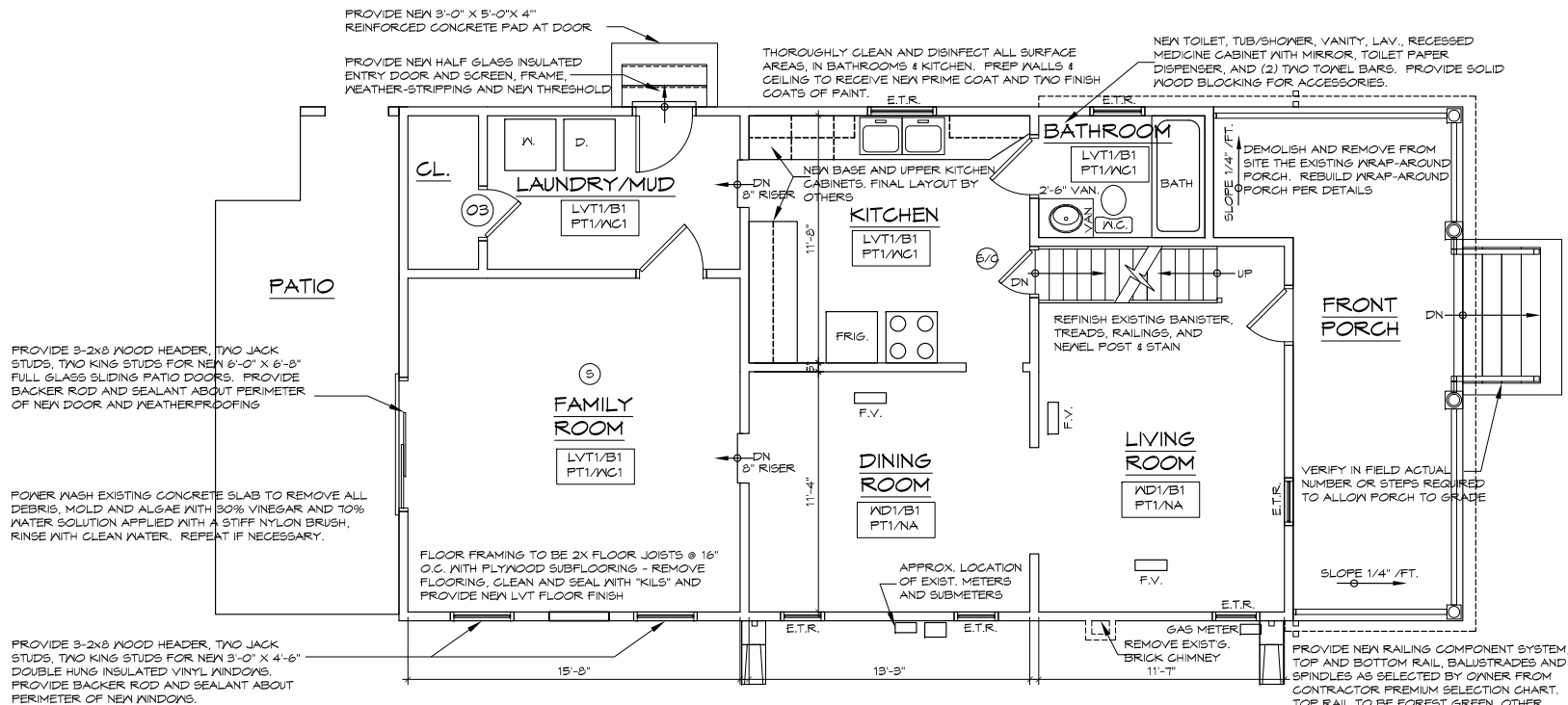
EXISTING DOOR & FRAME TO BE REMOVED

EXISTING DOOR & FRAME TO REMAIN

1. PREP ALL EXISTING PAINTED INTERIOR WALL AND CEILING SURFACES WITH "BIN" KILZ SHELLAC BASED PRIMER OR EQUAL. EXISTING WALLS AND CEILINGS TO BE PAINTED WITH ONE COAT PRIMER TWO COATS PAINT FULL HEIGHT; WALL PAINT SHALL BE EGGSHELL FINISH
2. EXISTING DOOR FRAMES TO BE PAINTED WITH TWO COATS PAINT; DOOR FRAME PAINT SHALL BE SEMI-GLOSS FINISH.
3. THE FLOOR, CEILING & WALL FINISHES AT CLOSETS SHALL BE THE SAME AS THE ROOM WHERE THE CLOSETS ARE LOCATED.
4. PROVIDE TRANSITION STRIPS WHERE TWO DIFFERENT FLOOR FINISHES INTERSECT
5. REPLACE OR PROVIDE COVER MATERIAL AT FLOOR H.V.A.C. VENTS & CLEAN-OUTS TO BE PAINTED "RUST-O-LEUM", COLOR TO BE: "HAMMERED-METAL". PROTECT EXISTING ADJACENT FINISHES FROM OVER SPRAY BY REMOVING VENT, PREP, PRIME, PAINT AND REINSTALL.
6. WALLS SHALL BE PAINTED NEW COLORS; COLORS TO BE DETERMINED; THERE WILL BE UP TO 4 WALL PAINT COLORS
7. PREPARE WALL SURFACES TO ACCOMMODATE M.E.P. MODIFICATIONS, PATCH HOLES, CUT-OUTS TO RECEIVE NEW FINISHES.

FLOOR / WALL BASE
WALLS / WALL ACCENT
C'TOP / P.LAMINATE

— ACCENT WALL —


$$\overline{1/4'' = 1'-0''}$$

$$\overline{1/4'' = 1'-0''}$$


NOT TO SCALE



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STATE LAW; NO COPYING OR
EXPLOITATION; NO ALTERATIONS;
NO UNAUTHORIZED USE WITHOUT
THE APPROVAL OF ARCHITECTURA, PC

INTERIOR AND EXTERIOR RENOVATIONS AND IMPROVEMENTS

36 SOUTH STREET, LEICESTER, NY
FOR: LIVINGSTON COUNTY LAND BANK

PROJECT NO.:	126813
CHECKED BY:	SBT
DRAWN BY:	SBT/ZTF
DATE:	10-01-2025

REVISIONS:



ISSUED FOR
CONSTRUCTION

SHEET NAME

FIRST AND SECOND
FLOOR PLANS

SHEET NO.

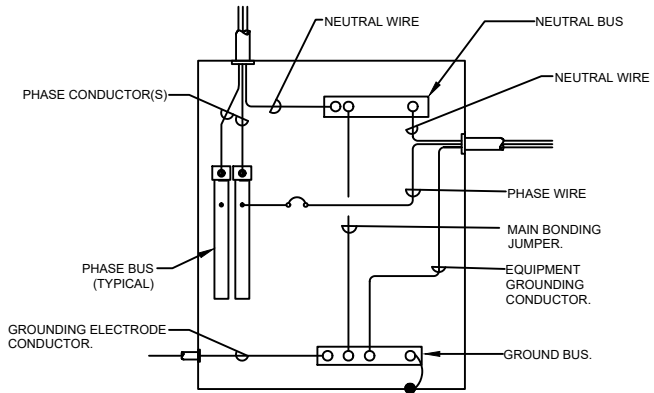
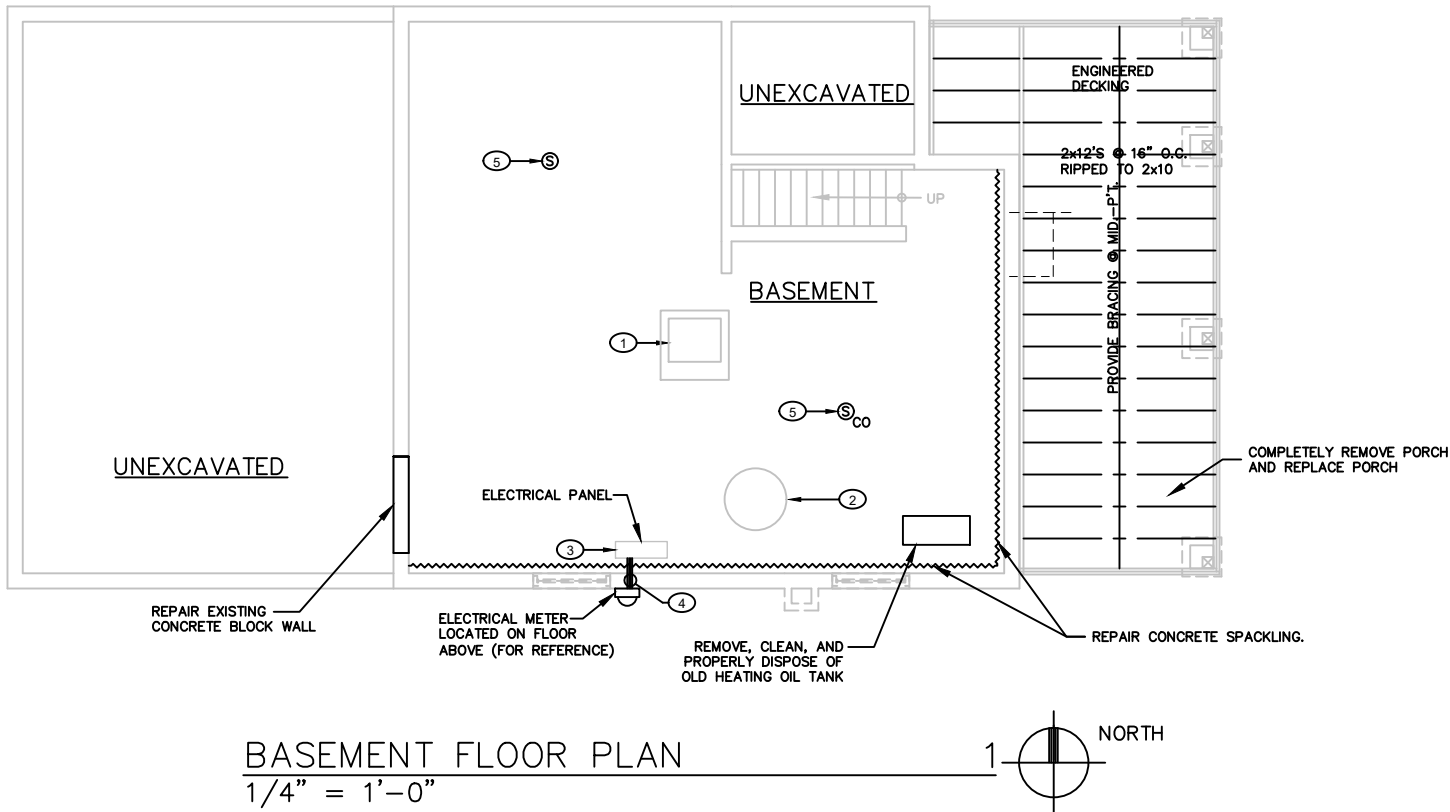
A-1

KEYED UTILITY NOTES:

- 1
- EXISTING FURNACE TO REMAIN AND BE RE-USED. CONTRACTOR TO MAINTAIN ELECTRICAL, GAS PIPING AND DUCTWORK TO UNIT. CONTRACTOR TO CLEAN, TEST, AND ADJUST UNIT TO PERFORM AS MANUFACTURED AND DESIGNED. PROVIDE NEW AIR FILTER, REPLACE DISCONNECT SWITCH IN KIND, AND CLEAN ALL DUCTWORK THROUGHOUT THE BUILDING.
- 2
- EXISTING GAS WATER HEATER TO BE REPLACED IN KIND. CONTRACTOR TO DISCONNECT AND RECONNECT ELECTRICAL AND GAS PIPING. MODIFY AS FIELD REQUIRED. PROVIDE AND INSTALL NEW VENTING AS REQUIRED PER NATIONAL AND LOCAL CODE. DISPOSE OF OLD APPLIANCES.
- 3
- EXISTING TO REMAIN 100A FRAME WITH 100A MCB, 240/120V, 1PH, 3W, 24 SPACES SERVICE ENTRANCE RATED PANELBOARD. MAINTAIN AND PROTECT ALL BRANCH CIRCUITRY FOR RE-USE. CONTRACTOR IS TO REPLACE ALL CIRCUIT BREAKERS WITHIN PANELBOARD, PROVIDING AFCI CIRCUIT BREAKERS FOR ALL BEDROOM RECEPTACLE CIRCUITS. CONTRACTOR IS TO PROVIDE #8AWG BONDING JUMPER BETWEEN NEUTRAL AND GROUND BAR WITHIN SERVICE ENTRANCE PANELBOARD.
- 4
- PROVIDE AND INSTALL NEW CONDUCTORS FROM METER TO PANELBOARD. PROVIDE (3)#2AWG COPPER SERVICE ENTRANCE CABLE, AND NEW (1)#8AWG INSULATED COPPER GROUNDING ELECTRODE CONDUCTOR. PROVIDE PROPER FIRESTOPPING AT PENETRATION THROUGH WALL. PRIOR TO CONSTRUCTION, COORDINATE ELECTRICAL SERVICE EQUIPMENT REPLACEMENT REQUIREMENTS WITH LOCAL UTILITY. REFER TO DRAWING U-102 FOR NEW GROUNDING SYSTEM LOCATION AND REQUIREMENTS.
- 5
- CONTRACTOR TO PROVIDE AND INSTALL NEW COMBINATION SMOKE DETECTOR AND VOICE ALARM. SMOKE DETECTORS ARE TO BE HARDWIRED TO ALERT ALL AREAS OF THE DWELLING UNIT SIMULTANEOUSLY UPON ACTIVATION OF A SINGLE STATION DETECTOR & ALARM COMBO UNIT. PROVIDE NEW DEDICATED 15A/1P CIRCUIT BREAKER WITH (2)#14AWG, (1)#14AWG GROUND ALONG WITH (1)#14AWG ALARM INTERCONNECTING CABLE FROM PANELBOARD TO FIRST DEVICE, AND TO ALL FIRE ALARM DEVICES SHOWN. ALL NEW DETECTOR & ALARM COMBINATION UNITS ARE TO COME WITH AN INTEGRAL SEALED BATTERY WITH A 10 YEAR LIFE AND WARRANTY. PROVIDE COMBINATION CARBON MONOXIDE DETECTORS WHERE INDICATED WITH "CO" ON PLANS.

GENERAL NOTES:

- 1
- TEST AND VERIFY OPERATION OF ALL ELECTRICAL RECEPTACLES, SWITCHES, LIGHT FIXTURES, ETC. IDENTIFY ANY INOPERABLE DEVICES TO OWNER, AND MAINTAIN AN ALLOWANCE TO REPAIR.
- 2
- ALL GENERAL PURPOSE AND USE RECEPTACLES WITHIN 6'-0" OF A SINK, SHOWER, OR DISHWASHER ARE TO BE REPLACED WITH A NEW GFI RECEPTACLE.
- 3
- CONTRACTOR TO CONFIRM PRESENCE OF AN EQUIPMENT GROUNDING CONDUCTOR AT EACH EXISTING DEVICE. IDENTIFY ANY DEFICIENCIES TO OWNER, AND MAINTAIN AN ALLOWANCE TO PROVIDE A NEW EQUIPMENT GROUNDING CONDUCTOR FROM THE PANELBOARD TO DEFICIENT DEVICE LOCATIONS.
- 4
- ALL NEW CONDUCTORS #10AWG OR SMALLER ARE TO BE SOLID CONDUCTORS. CONDUCTORS #8AWG OR LARGER ARE TO BE STRANDED CONDUCTORS.
- 5
- ALL NEW EQUIPMENT IS TO BE INSTALLED PER NFPA 70 (NEC), 2020 EDITION, AND ARE TO BEAR A "UL" OR "ETL" LISTING LABEL.
- 6
- REFER TO DETAIL 1 ON DRAWING U-101 FOR ADDITIONAL INFORMATION REGARDING SERVICE ENTRANCE PANELBOARD INSTALLATION.



1 **SERVICE ENTRANCE PANELBOARD DETAIL**
U-101 SCALE: NONE

BASEMENT FLOOR PLAN
1/4" = 1'-0"

WARNING

IT IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, OTHER THAN THOSE WHOSE SEAL APPEARS ON THIS DRAWING, TO ALTER IN ANY WAY AN ITEM ON THIS DRAWING. IF AN ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

NO.	DATE	DESCRIPTION
REVISIONS		



LiRo Engineers, Inc.
85 Allen Street
Rochester, New York

PROJ. ENG.:
J.R.P.
DESIGNED BY:
P.B.
CHECKED BY:
J.R.P.
DRAWN BY:
A.M.K.

CLIENT:

LIVINGSTON COUNTY
LAND BANK CORPORATION

DATE:
SEPTEMBER 2025

SCALE:
NOT TO SCALE

JOB TITLE AND LOCATION:

PROPERTY RENOVATIONS AT
36 SOUTH STREET, LEICESTER, NY 14481

DRAWING TITLE:

36 SOUTH ST.
BASEMENT UTILITY CONSTRUCTION PLAN

LIRO JOB NO.:
21-198-2831

SHEET
9 OF 12

FIGURE NO.

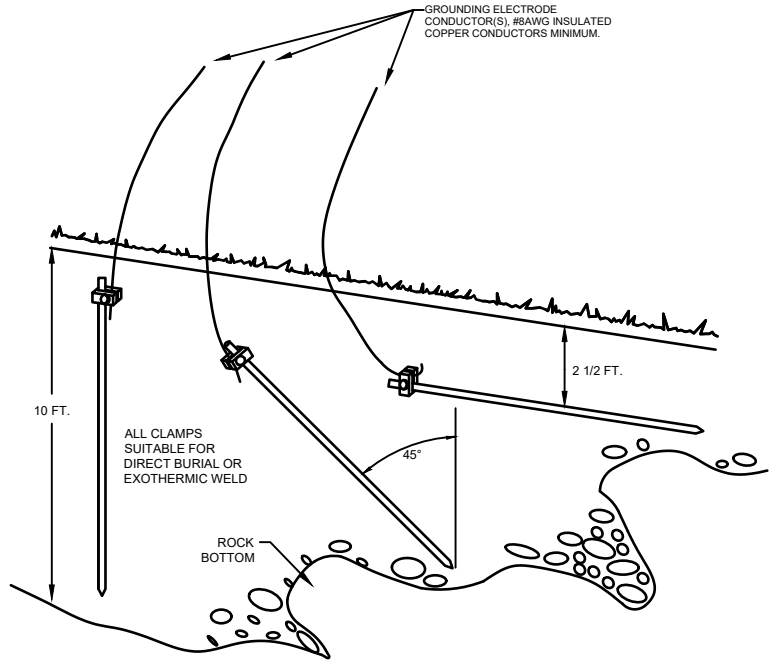
U-101

KEYED UTILITY NOTES:

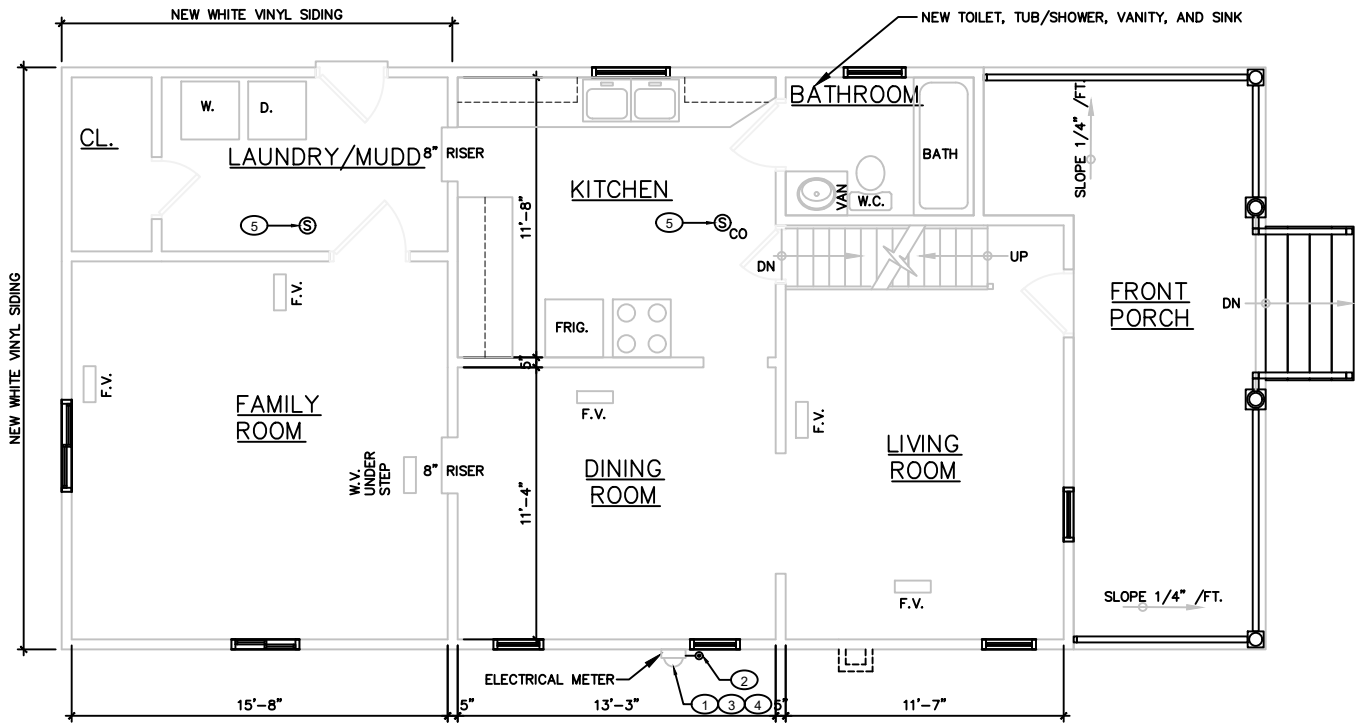
- 1
- DISCONNECT AND REMOVE EXISTING METER ENCLOSURE. ENCLOSURE IS TO BE REPLACED IN KIND WITH A NEMA-3R HINGED ENCLOSURE, APPROVED BY THE UTILITY COMPANY AND AUTHORITY HAVING JURISDICTION. MOUNT NEW METER IN PLACE OF EXISTING METER.
- 2
- PROVIDE AND INSTALL NEW 5/8"X10' COPPER CLAD GROUND ROD WITH TOP OF ROD EMBEDDED 1'-0" BELOW FINISHED GRADE. PROVIDE (1)#8AWG INSULATED STRANDED COPPER GROUNDING ELECTRODE CONDUCTOR. ROUTE GROUND WIRE THROUGH METER AND INTO PANELBOARD WITH NEW SERVICE CONDUCTORS. PROVIDE IRREVERSIBLE CRIMP CONNECTION OR EXOTHERMIC WELD KIT TO FASTEN GROUND WIRE TO GROUND ROD. LOCATE WATER MAIN AND PROVIDE ADDITIONAL BONDED CONNECTION TO WATER MAIN PIPE.
- 3
- PROVIDE AND INSTALL NEW CONDUCTORS FROM EXISTING TO REMAIN WEATHERHEAD TO NEW METER. PROVIDE (3)#2AWG COPPER SERVICE ENTRANCE CABLE. PROVIDE PROPER WEATHERPROOF SUPPORTS, CLAMPS, SCREWS, ETC. INSTALLED AND SPACED PER NFPA 70, 2020 EDITION. PRIOR TO CONSTRUCTION, COORDINATE ELECTRICAL SERVICE EQUIPMENT REPLACEMENT REQUIREMENTS WITH LOCAL UTILITY. PROVIDE ALL FINAL CONNECTIONS AND TERMINATIONS TO EXISTING OVERHEAD UTILITY CONDUCTORS THROUGH WEATHERHEAD, TO NEW CONDUCTORS AS REQUIRED.
- 4
- PROVIDE AND INSTALL NEW CONDUCTORS FROM METER TO PANELBOARD. PROVIDE (3)#2AWG COPPER SERVICE ENTRANCE CABLE, ALONG WITH (1)#8AWG INSULATED COPPER GROUNDING ELECTRODE CONDUCTOR. PROVIDE PROPER FIRESTOPPING AT PENETRATION THROUGH WALL. PRIOR TO CONSTRUCTION, COORDINATE ELECTRICAL SERVICE EQUIPMENT REPLACEMENT REQUIREMENTS WITH LOCAL UTILITY. REFER TO DRAWING U-101 FOR PANELBOARD LOCATION.
- 5
- CONTRACTOR TO PROVIDE AND INSTALL NEW COMBINATION SMOKE DETECTOR AND VOICE ALARM. SMOKE DETECTORS ARE TO BE HARDWIRED TO ALERT ALL AREAS OF THE DWELLING UNIT SIMULTANEOUSLY UPON ACTIVATION OF A SINGLE STATION DETECTOR & ALARM COMBO UNIT. PROVIDE NEW DEDICATED 15A/1P CIRCUIT BREAKER WITH (2)#14AWG, (1)#14AWG GROUND ALONG WITH (1)#14AWG ALARM INTERCONNECTING CABLE FROM PANELBOARD TO FIRST DEVICE, AND TO ALL FIRE ALARM DEVICES SHOWN. ALL NEW DETECTOR & ALARM COMBINATION UNITS ARE TO COME WITH AN INTEGRAL SEALED BATTERY WITH A 10 YEAR LIFE AND WARRANTY. PROVIDE COMBINATION CARBON MONOXIDE DETECTORS WHERE INDICATED WITH "CO" ON PLANS.

GENERAL NOTES:

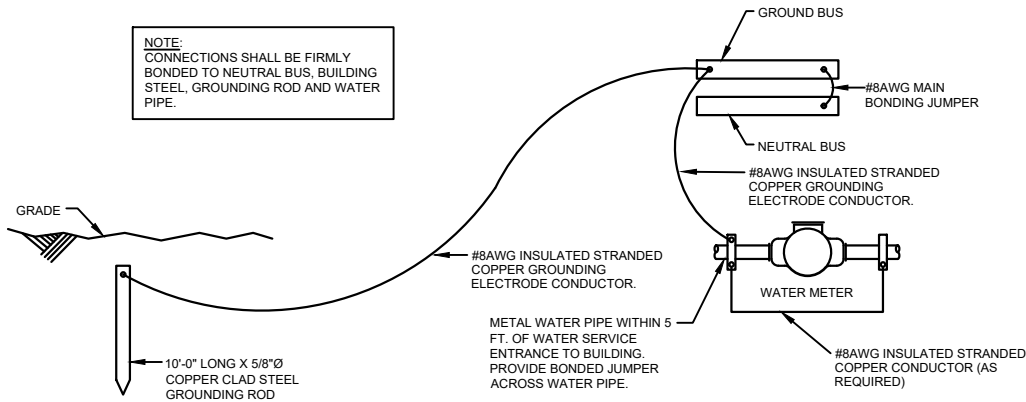
1.
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5.
- ALL NEW EQUIPMENT IS TO BE INSTALLED PER NFPA 70 (NEC), 2020 EDITION, AND ARE TO BEAR A "UL" OR "ETL" LISTING LABEL.
6.
- REFER TO DETAIL(S) 1 AND 2 ON DRAWING U-102 FOR ADDITIONAL GROUND ROD (GROUNDING ELECTRODE) AND GROUNDING ELECTRODE CONDUCTOR INSTALLATION.



1 **GROUNDING ELECTRODE DETAIL**
U-102 SCALE: NONE



FIRST FLOOR PLAN
1/4" = 1'-0"



2 **GROUNDING SYSTEM AND BONDING DETAIL**
U-102 SCALE: NONE

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NO.	DATE	DESCRIPTION
REVISIONS		



LiRo Engineers, Inc.
85 Allen Street
Rochester, New York

PROJ. ENG.:
J.R.P.
DESIGNED BY:
S.B.T.
CHECKED BY:
J.R.P.
DRAWN BY:
S.B.T.

CLIENT:

LIVINGSTON COUNTY
LAND BANK CORPORATION

DATE:
SEPTEMBER 2025

SCALE:
NOT TO SCALE

JOB TITLE AND LOCATION:

PROPERTY RENOVATIONS AT
36 SOUTH STREET, LEICESTER, NY 14481

DRAWING TITLE:

36 SOUTH ST.
FIRST FLOOR UTILITY CONSTRUCTION PLAN

LIRO JOB NO.:
21-198-2831

SHEET
10 OF 12

FIGURE NO.

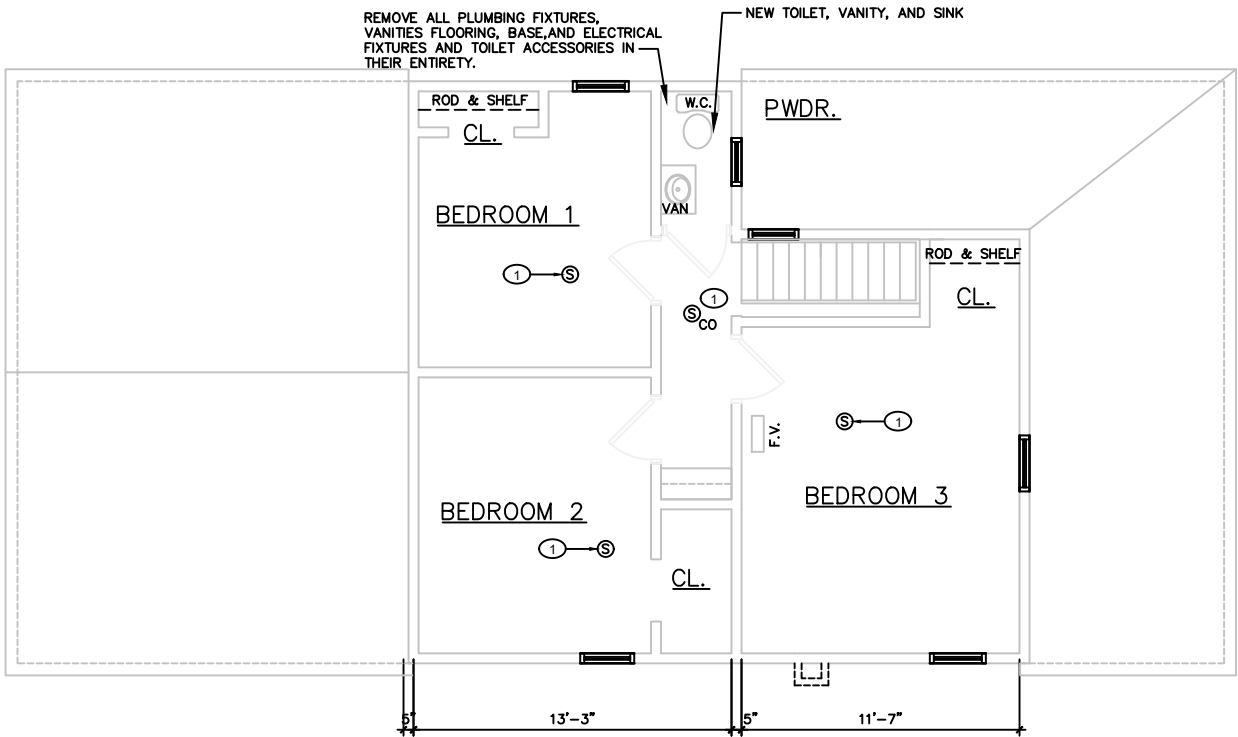
U-102

KEYED UTILITY NOTES:

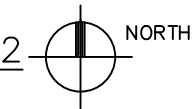
- 1 CONTRACTOR TO PROVIDE AND INSTALL NEW COMBINATION SMOKE DETECTOR AND VOICE ALARM. SMOKE DETECTORS ARE TO BE HARDWIRED TO ALERT ALL AREAS OF THE DWELLING UNIT SIMULTANEOUSLY UPON ACTIVATION OF A SINGLE STATION DETECTOR & ALARM COMBO UNIT. PROVIDE NEW DEDICATED 15A/1P CIRCUIT BREAKER WITH (2)#14AWG, (1)#14AWG GROUND ALONG WITH (1)#14AWG ALARM INTERCONNECTING CABLE FROM PANELBOARD TO FIRST DEVICE, AND TO ALL FIRE ALARM DEVICES SHOWN. ALL NEW DETECTOR & ALARM COMBINATION UNITS ARE TO COME WITH AN INTEGRAL SEALED BATTERY WITH A 10 YEAR LIFE AND WARRANTY. PROVIDE COMBINATION CARBON MONOXIDE DETECTORS WHERE INDICATED WITH "CO" ON PLANS.

GENERAL NOTES:

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5. ALL NEW EQUIPMENT IS TO BE INSTALLED PER NFPA 70 (NEC), 2020 EDITION, AND ARE TO BEAR A "UL" OR "ETL" LISTING LABEL.



SECOND FLOOR PLAN
1/4" = 1'-0"



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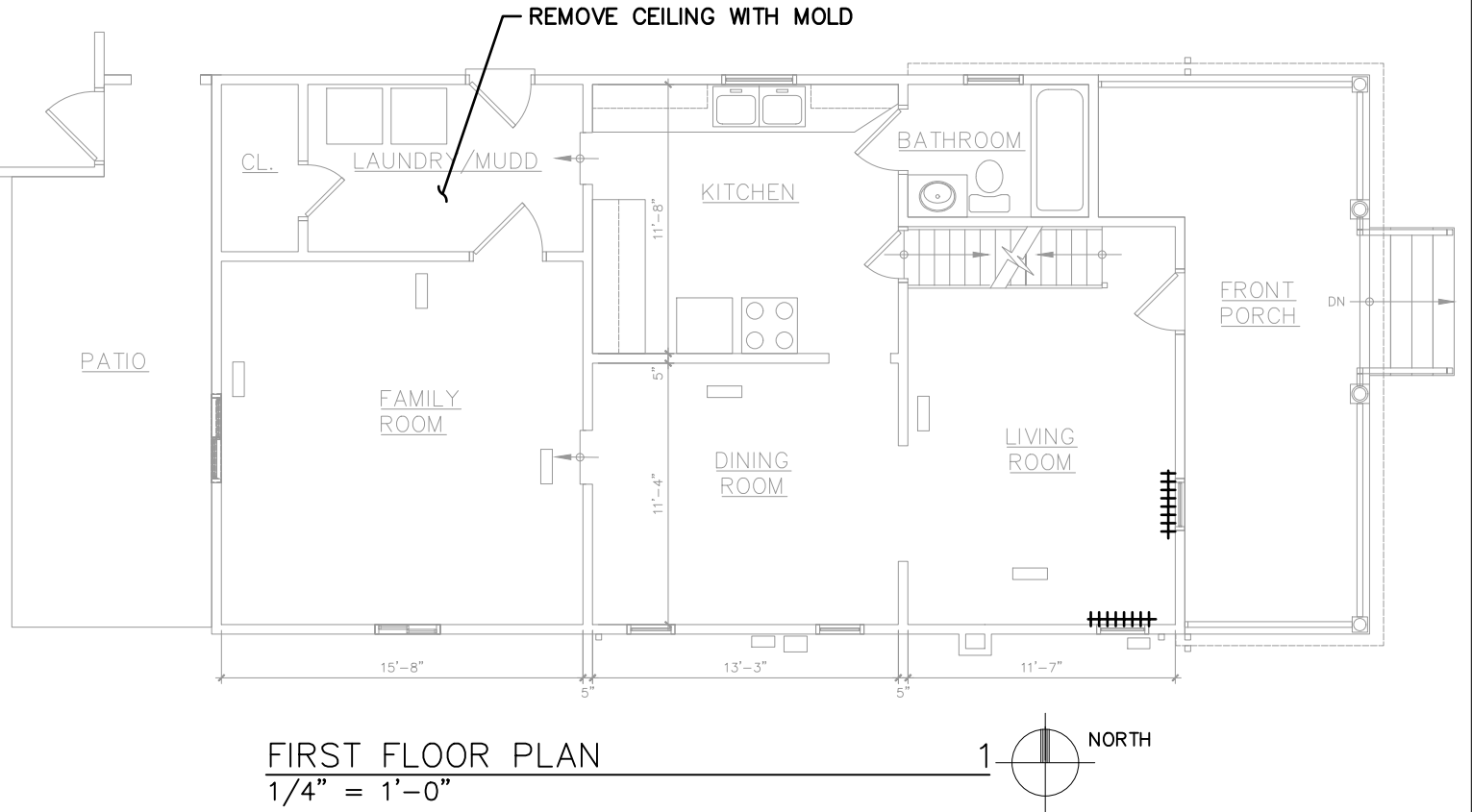
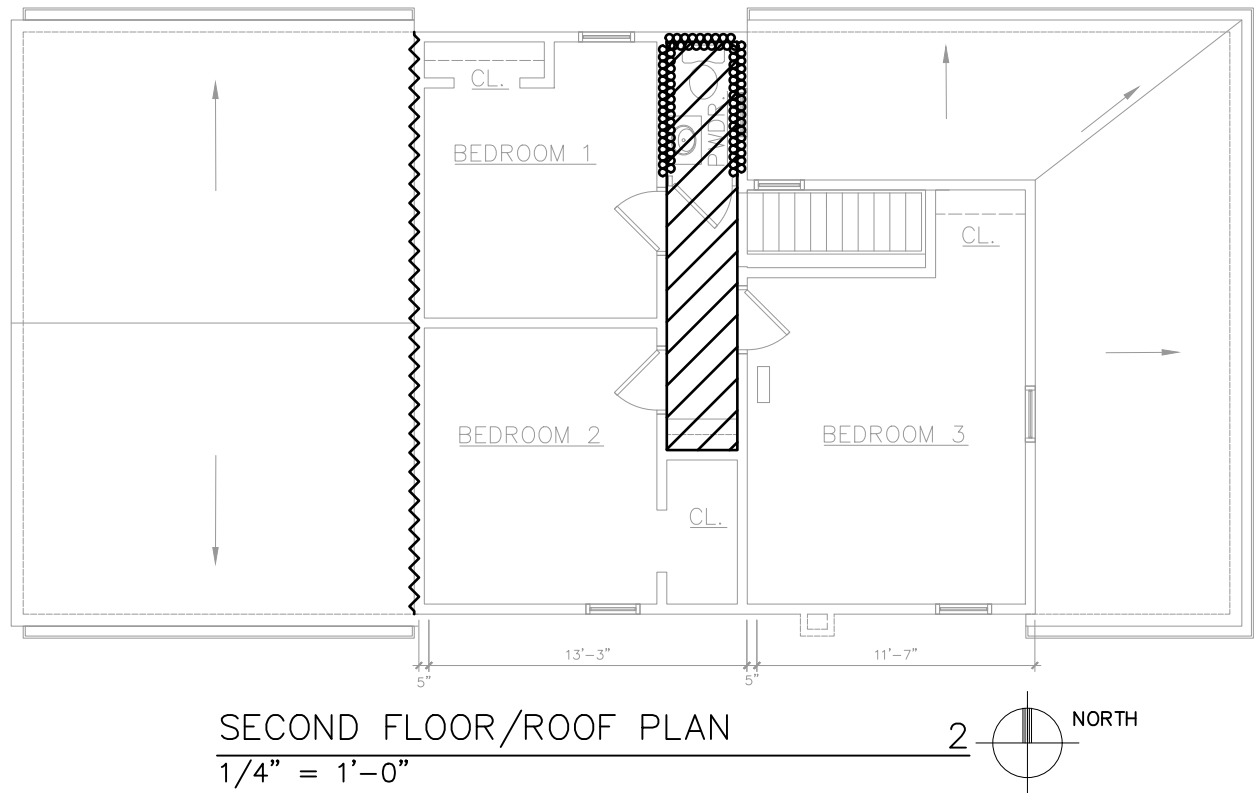
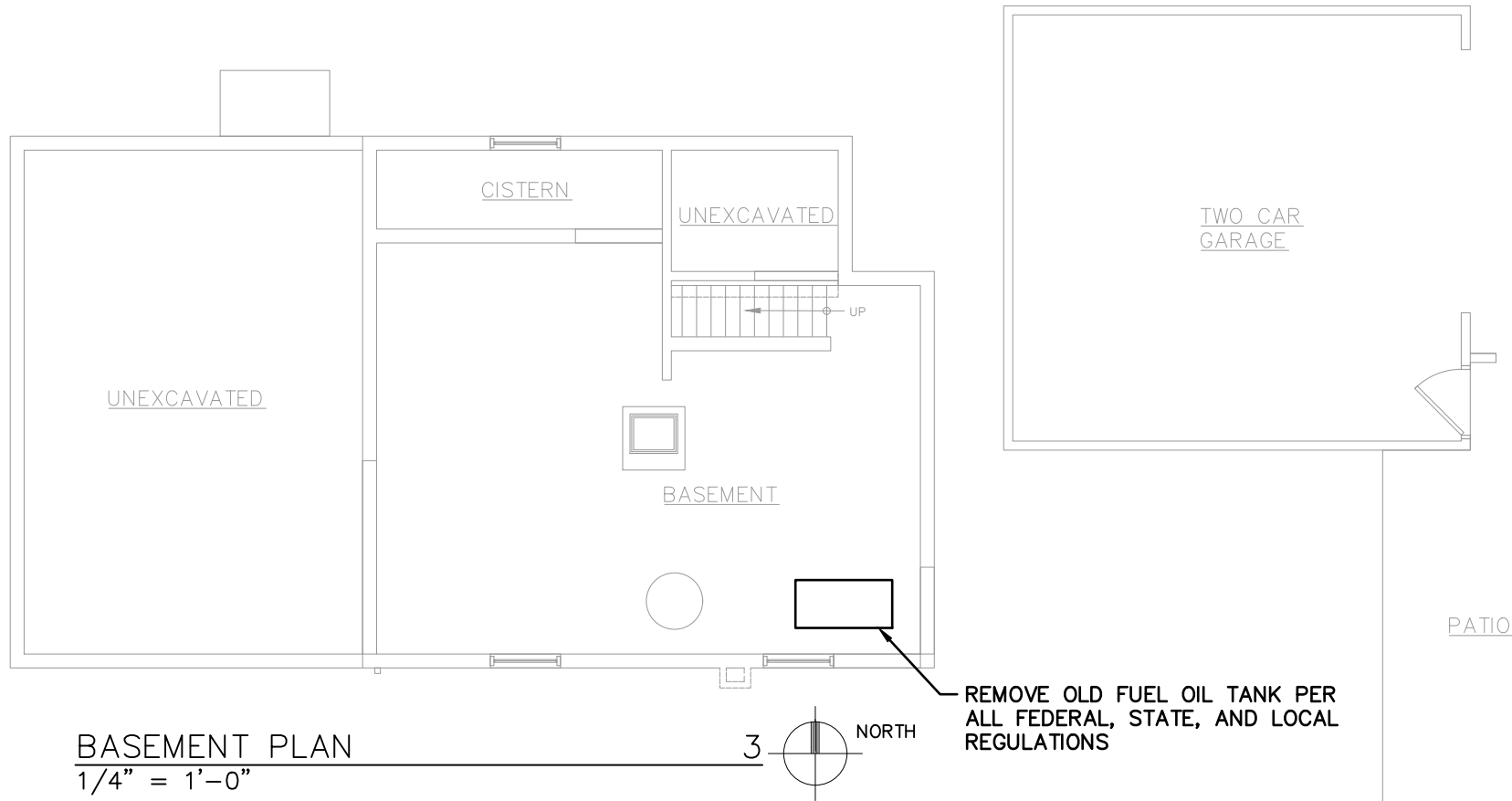
NO.	DATE	DESCRIPTION
REVISIONS		



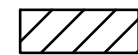
LiRo Engineers, Inc.
85 Allen Street
Rochester, New York

PROJ. ENG.: J.R.P.	CLIENT: LIVINGSTON COUNTY LAND BANK CORPORATION	
DESIGNED BY: S.B.T.		
CHECKED BY: J.R.P.		
DRAWN BY: S.B.T.	DATE: SEPTEMBER 2025	SCALE: NOT TO SCALE

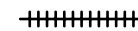
JOB TITLE AND LOCATION: PROPERTY RENOVATIONS AT 36 SOUTH STREET, LEICESTER, NY 14481	LIRO JOB NO.: 21-198-2831
DRAWING TITLE: 36 SOUTH ST. SECOND FLOOR UTILITY CONSTRUCTION PLAN	SHEET 11 OF 12
	FIGURE NO. U-103



LEGEND:



A NYSDOL-LICENSED ASBESTOS ABATEMENT CONTRACTOR SHALL REMOVE ASBESTOS-CONTAINING 9"x9" STREAKED GRAY FLOOR TILE WITH ASSOCIATED MASTIC, FROM THE 2ND FLOOR HALLWAY AND BATHROOM, NON-FRIABLE, IN ACCORDANCE WITH NYSDOL CODE RULE 56, APPROXIMATELY 55 SF.



A NYSDOL-LICENSED ASBESTOS ABATEMENT CONTRACTOR SHALL REMOVE ASBESTOS-CONTAINING WINDOW CAULK, WHITE, LIVING ROOM, NON-FRIABLE, IN ACCORDANCE WITH NYSDOL CODE RULE 56, APPROXIMATELY 3 SF.



A NYSDOL-LICENSED ASBESTOS ABATEMENT CONTRACTOR SHALL REMOVE ASBESTOS-CONTAINING ADHESIVE ASSOCIATED WITH WALL TILE, 2ND FLOOR BATHROOM, NON-FRIABLE, IN ACCORDANCE WITH NYSDOL CODE RULE 56, APPROXIMATELY 70 SF.



A NYSDOL-LICENSED ASBESTOS ABATEMENT CONTRACTOR SHALL REMOVE ASBESTOS-CONTAINING OLD ROOF TAR ON REAR LOWER ROOF AT SIDING, BLACK, NON-FRIABLE, IN ACCORDANCE WITH NYSDOL CODE RULE 56, APPROXIMATELY 1 SF.

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NO.	DATE	DESCRIPTION
REVISIONS		



LiRo Engineers, Inc.
85 Allen Street
Rochester, New York

PROJ. ENG.: J.R.P.	CLIENT: LIVINGSTON COUNTY LAND BANK CORPORATION	
DESIGNED BY: S.B.T.		
CHECKED BY: J.R.P.		
DRAWN BY: S.B.T.	DATE: SEPTEMBER 2025	SCALE: NOT TO SCALE

JOB TITLE AND LOCATION: PROPERTY RENOVATIONS AT 36 SOUTH STREET, LEICESTER, NY 14481		LIRO JOB NO.: 21-198-2831
DRAWING TITLE: 36 SOUTH ST. HAZARDOUS BUILDING MATERIAL ABATEMENT PLAN		SHEET 12 OF 12
		FIGURE NO. H-101

Limited ACM Inspection Report
For
Livingston Community Revitalization Initiative
Renovations at 36 South Street, Leicester, NY

Project #21-198-2831

Prepared For:

Livingston County Land Bank
6 Court Street, Room 305
Geneseo, New York

Prepared By:



LiRo Engineers, Inc.
690 Delaware Avenue
Buffalo, NY 14209

September 25, 2025



1.0	EXECUTIVE SUMMARY	1
2.0	FIELD SURVEY PROCEDURES AND SAMPLE ANALYSIS METHODS	2
3.0	INSPECTION SCOPE AND MATERIAL ASSESSMENT RESULTS	3
4.0	CONCLUSIONS AND RECOMMENDATIONS.....	3

Appendices

Appendix A: ACM Sample Analysis Results in Tabular Form

Appendix B: ACM Sample Chain of Custody & Laboratory Results

Appendix C: Laboratory Accreditations and Personnel Certifications

Appendix D: Bulk Sample Location Map and ACM Location Drawing

Appendix E: Photographic Log



Limited ACM Inspection Report

1.0 EXECUTIVE SUMMARY

LiRo Engineers, Inc. (LiRo) has performed a limited inspection to characterize suspected asbestos-containing materials (ACM) building products which may be impacted during the proposed renovation of the house and garage located at 36 South Street, Leicester, New York.

This survey was conducted on September 11 and 19, 2025. This inspection was commissioned by the Livingston County Land Bank (LCLB). A brief summary of the findings is identified below:

Suspect materials identified and evaluated by LiRo which are expected to be impacted by these renovations, are identified below. Materials determined or assumed to be ACM are presented in **BOLD CAPITALIZED FONT**. A complete summary of analytical results for all asbestos bulk asbestos samples collected is included in Appendix A of this report, with the laboratory report included in Appendix B.

- Stick-On 12x12" Floor Tile with Squares Patterning with associated Mastic, Non-Friable
- Stick-On 12x12" Floor Tile with Rectangles Patterning with associated Mastic, Non-Friable
- Mastic/Felt associated with Stairs Carpet, Non-Friable
- **9x9" STREAKED GRAY FLOOR TILE AND ASSOCIATED MASTIC, 2ND FLOOR HALLWAY AND BATHROOM, NON-FRIABLE, 55 SF**
- **WINDOW CAULK, WHITE, LIVING ROOM, NON-FRIABLE, 3 SF (2 WINDOWS)**
- Window Caulk, Dining Room, Non-Friable
- Caulk associated with Bathtub at Floor Intersection, Gray, Non-Friable
- **ADHESIVE ASSOCIATED WITH WALL TILE, 2ND FLOOR BATHROOM, NON-FRIABLE, 70 SF**
- Adhesive associated with Wallpaper, Tan/White, Non-Friable
- Gypsum Board, Joint Compound and Seam Tape, Friable
- Ceiling Tiles, White, Non-Friable
- Roof Shingles associated with the Garage, Black, Non-Friable
- Roof Shingles Main House, Black - Top Layer, Non-Friable
- Roll Roofing Main House, Tan/Black - Second Layer from Top, Non-Friable
- Roof Shingles Main House, Tan/Black – Third Layer from Top, Non-Friable
- Roof Shingles Main House, Tan/Black – Fourth Layer from Top, Non-Friable
- Tar Paper, Main House, Black, Non-Friable
- Roof Shingle, Black, Breezeway and Front Roof - Second Layer, Non-Friable
- Roof Shingle, Black, Breezeway - Top Layer, Non-Friable
- Tar Paper, Lower roof, Black, Non-Friable
- Roof Shingle, Black, Lower roof – Top Layer, Non-Friable
- Tar around chimney, Black, Non-Friable
- **OLD ROOF TAR ON REAR LOWER ROOF AT SIDING ASSOCIATED WITH THE HOUSE, BLACK, NON-FRIABLE, 1 SF**
- Roof Shingle, Black, Porch roof – Top Layer, Non-Friable



2.0 FIELD SURVEY PROCEDURES AND SAMPLE ANALYSIS METHODS

Guidelines used for the inspection were established by the Environmental Protection Agency (EPA) in the Guidance for Controlling Asbestos Containing Materials in Buildings, Office of Pesticides and Toxic Substances, Doc 560/5-85-024, and 40 CFR Part 763, Asbestos Hazard Emergency Response Act (AHERA).

Field information was organized in accordance with the AHERA methodology of homogenous area (HA). During the survey, reasonable effort was made to identify all locations and types of ACM materials associated with the scope of work. Sampling has included multiple samples of the same materials chosen at random. However, due to inconsistencies of a manufacturer's processes and the contractor's installation methods, materials of similar construction may contain various amounts of asbestos. Furthermore, some materials that were not originally specified to contain asbestos may in fact contain this mineral.

Bulk samples of suspect ACM were analyzed using polarized light microscopy (PLM) coupled with dispersion staining, as described in 40 CFR Part 763 and the National Emissions Standard for Hazardous Air Pollutants (NESHAPS). NESHAPS is the standard industry protocol for the determination of asbestos in building materials. A suspect material is immersed in a solution of known refractive index and subjected to illumination by polarized light. The color displays that result are compared to a standardized atlas whereby the specific variety of asbestos is determined. It should also be recognized that PLM is primarily a qualitative identification method whereby asbestos percentage, if any, is estimated. While EPA and New York State regulations governing ACM consider materials containing greater than 1-percent as asbestos, accurately quantifying asbestos content below 5-percent has been shown to be unreliable.

The New York State Department of Health has revised the PLM Stratified Point Counting Method. The new method, "Polarized Light Microscopy Methods for Identifying and Quantifying Asbestos in Bulk Samples" can be found as item 198.1 in the Environmental Laboratory Approval program (ELAP) Certification manual. The method specifies a procedure of analysis for bulk samples that fall into the category of "Non-friable Organically Bound" (NOB). This category includes any sample in a flexible to rigid asphalt or vinyl matrix (floor tiles, mastic, roofing shingles, roofing felt, etc.). Additional materials that may fall into this category are textured paints and stucco, pipe valve and joint packing, and a variety of other applications. These samples must be "ashed" in a muffle furnace at 480-degrees Celsius (to remove organic matrix), treated with acid (to remove any mineral carbonate), and filtered through a 0.4-micron filter before being analyzed by PLM. The sample must be weighted between each of these steps to track the percent loss of organic matrix.

ELAP has determined that analysis of NOB materials is not reliably performed by PLM. Therefore, if PLM yields results of 1-percent asbestos or less, the result must be confirmed by TEM. Bulk samples that undergo TEM analysis use the sample reduction methodology stated above for NOB analysis by PLM. ELAP certified laboratories must include the following statement with their PLM analysis results for each "negative" (1-percent or less asbestos) NOB sample: "Polarized-light microscopy is not consistently reliable in detecting asbestos in floor coverings and similar non-friable organically bound materials. Before this material can be considered or treated as non-ACM, confirmation must be made by quantitative transmission electron microscopy".

All asbestos samples were initially analyzed by Polarized Light Microscopy. Samples which yielded a negative PLM result and which are classified as "non-friable" material were then re-analyzed utilizing Transmission Electron Microscopy methodology described above. If the first sample of the group was confirmed as containing asbestos, based on CR56, no further confirmation is needed for the entire sample group and the remaining samples were not tested. This is referred to as a Positive Stop. Bulk Samples were analyzed by EMSL Analytical, located at 490 Rowley Road, Depew, New York.



Limited ACM Inspection Report

3.0 INSPECTION SCOPE AND RESULTS

This inspection has been limited to features likely to be impacted by or is in close proximity to work which may be implemented during the proposed renovations of the house and garage. This survey was conducted on September 11 and 19, 2025. This inspection was commissioned by the Livingston County Land Bank. All bulk sampling was performed by NYSDOL-certified inspector Sarah Northan (Cert. #25-6IZNU-SHAB) and Raymond Cich (Cert. #25-6L6T3-SHAB).

Laboratory report forms related to the sampling are included in Appendix B of this report.

The following items were identified as asbestos-containing materials:

- **9X9" STREAKED GRAY FLOOR TILE AND ASSOCIATED MASTIC, NON-FRIABLE, 55 SF**
- **ADHESIVE ASSOCIATED WITH 2ND FLOOR BATHROOM WALL TILE, TAN/GRAY, NON-FRIABLE, 70 SF**
- **WINDOW CAULK IN LIVING ROOM, WHITE, NON-FRIABLE, 3 SF (2 WINDOWS)**
- **OLD ROOF TAR ON REAR LOWER ROOF AT SIDING ASSOCIATED WITH THE HOUSE, BLACK, NON-FRIABLE, 1 SF**

A full list of collected samples and their corresponding analytical results is provided in Appendix A of this report.

In the event that the above noted ACM will be disturbed during the planned renovations, it must be removed by a NYSDOL licensed asbestos contractor. All ACM activities shall be conducted in accordance with all applicable federal, state, and local codes, rules and regulations including 12 NYCRR Part 56 (NYSDOL Asbestos), 40 CFR Part 61 (EPA National Emission Standard for Air Pollutants) and OSHA Part 1926.1101 (OSHA Asbestos in Construction). Bulk sample locations and ACM locations are shown on the Drawings included as Appendix D. Photos are included in Appendix E.

4.0 CONCLUSIONS AND RECOMMENDATIONS

LiRo Engineers, Inc. (LiRo) has performed a limited inspection to characterize suspected asbestos containing materials (ACM) building products which may be impacted during the proposed renovations in the house and garage located at 36 South Street in Leicester, New York.

This inspection is limited to the potential disturbance of ACM associated with the proposed renovations. In the event that the construction scope is modified, additional investigation may be required.

The following materials tested positive for asbestos:

- **9X9" STREAKED GRAY FLOOR TILE AND ASSOCIATED MASTIC, NON-FRIABLE, 55 SF**
- **ADHESIVE ASSOCIATED WITH 2ND FLOOR BATHROOM WALL TILE, TAN/GRAY, NON-FRIABLE, 70 SF**
- **WINDOW CAULK IN LIVING ROOM, WHITE, NON-FRIABLE, 3 SF (2 WINDOWS)**
- **OLD ROOF TAR ON REAR LOWER ROOF AT SIDING ASSOCIATED WITH THE HOUSE, BLACK, NON-FRIABLE, 1 SF**

Should further materials be uncovered that have not been assessed, work must stop & the new material must be evaluated before work can continue. Refer to Section 3.1 for a full list of sampled suspect ACM materials.

**APPENDIX A:
ACM SAMPLE ANALYSIS RESULTS
IN TABULAR FORM**

APPENDIX A
SAMPLE ANALYSIS RESULTS IN TABULAR FORM
Livingston Community Revitalization Initiative
Renovations of 36 South Street, Leicester, NY

Homo. Material ID.	Sample No.	Location	Material	Quantity	PLM Result	TEM Result	Condition (I/D/SD)	Friable (Y/N)
A	01	1 st Floor Bathroom	Stick-On 12x12” Floor Tile with Squares Patterning	N/A	NAD	NAD	D	N
	02				NAD	NAD		
	01A	1 st Floor Bathroom	Mastic associated with Stick-On 12x12” Floor Tile with Squares Patterning	N/A	NAD	NAD	D	N
	02A			N/A	NAD	NAD		
B	03	Kitchen East End	Stick-On 12x12” Floor Tile with Rectangular Patterning	N/A	NAD	NAD	D	N
	04	Kitchen West End			NAD	NAD		
	03A	Kitchen East End	Mastic associated Stick-On 12x12” Floor Tile with Rectangular Patterning	N/A	NAD	NAD	D	N
	04A	Kitchen West End			NAD	NAD		
C	05	Stairs to 2 nd Floor	Carpet Mastic/Felt, Rust Orange	N/A	NAD	NAD	D	N
	06				NAD	NAD		
D	07	2 nd Floor Hallway	9x9” Streaked Gray Vinyl Floor Tile	55 SF	NAD	2.6%	D	N
	08	2 nd Floor Bathroom			NAD	NA/PS		
	07A	2 nd Floor Hallway	Mastic associated with 9x9” Streaked Gray Vinyl Floor Tile	55 SF	NAD	3.4%	I	N
	08A	2 nd Floor Bathroom			NAD	NA/PS		
E	09	Living Room	Window Caulk, White	3 SF	NAD	1.2%	D	N
	10				NAD	NA/PS		
F	11	Dining Room	Window Caulk, Gray/Tan	N/A	NAD	NAD	D	N
	12				NAD	NAD		
G	13	1 st Floor Bathroom	Caulk at Tub/Floor Intersection	N/A	NAD	NAD	D	N
	14				NAD	NAD		
H	15	2 nd Floor Bathroom	Adhesive associated with Wall Tile	70 SF	NAD	1.1%	D	N
	16				NAD	NA/PS		
I	17	2 nd Floor Bathroom	Adhesive associated with Wallpaper	N/A	NAD	NAD	D	N
	18	Bedroom 2 Closet			NAD	NAD		

Homo. Material ID.	Sample No.	Location	Material	Quantity	PLM Result	TEM Result	Condition (I/D/SD)	Friable (Y/N)
J	19	Mud Room Ceiling	Gypsum Board, Joint Compound, and Seam Tape	N/A	NAD	NA	D	Y
	20	Bedroom 1 Wall			NAD	NA		
K	21	Kitchen	Ceiling Tiles, White	N/A	NAD	NAD	D	N
	22	Bedroom 3			NAD	NAD		
L	23	Garage	Roof Shingles, Black/Gray	N/A	NAD	NAD	SD	N
	24				NAD	NAD		
M	25A	Main roof - Top Layer - West Side	Architectural asphalt Shingle, Tan/Black	N/A	NAD	NAD	I	N
	25B	Main roof - Top Layer - North Side			NAD	NAD		
N	26	Main roof - Second Layer- West Side	Roll roofing Tan/Black	N/A	NAD	NAD	I	N
	27	Main roof - Second Layer- North Side		N/A	NAD	NAD		
O	28	Main roof -Third Layer- West Side	Asphalt Shingle Tan/Black	N/A	NAD	NAD	I	N
	29	Main roof - Third Layer- North Side		N/A	NAD	NAD		
P	30	Main roof -Fourth Layer- West Side	Asphalt Shingle Tan/Black	N/A	NAD	NAD	I	N
	31	Main roof - Fourth Layer- North Side		N/A	NAD	NAD		
Q	32	Main roof -Tar paper- South Side	Tar paper, Black	N/A	NAD	NAD	I	N
	33	Porch roof - Tar paper- East side Side		N/A	NAD	NAD		
R	34	Second layer - Front roof- South Side	Asphalt Shingles, Black	N/A	NAD	NAD	I	N
	35	Second layer - Breezeway- West Side		N/A	NAD	NAD		
S	36	Lower roof - North Side	Asphalt Tar paper, Black	N/A	NAD	NAD	I	N
	37	Lower roof - South Side		N/A	NAD	NAD		
T	38	Lower roof - North Side	Asphalt Shingles, Black	N/A	NAD	NAD	I	N
	39	Lower roof - South Side		N/A	NAD	NAD		
U	40	Around chimney	Roofing tar /Black	N/A	NAD	NAD	I	N
	41			N/A	NAD	NAD		

Homo. Material ID.	Sample No.	Location	Material	Quantity	PLM Result	TEM Result	Condition (I/D/SD)	Friable (Y/N)
V	42	Lower Roof at the Siding	Old Roofing Tar /Black	N/A	1.70%	NA	SD	N
	43			N/A	NA/PS	NA		
W	44	Top layer - Breezeway- N. Side	Asphalt Shingle, Black	N/A	NAD	NAD	I	N
	45	Top layer - Breezeway- S. Side		N/A	NAD	NAD		
X	46	Top layer - Porch Roof - North Side	Asphalt Shingle, Black	N/A	NAD	NAD	I	N
	47	Top layer -Porch Roof - East Side		N/A	NAD	NAD		

Notes:

***Bold font is positive for ACM.**

NA: Not Analyzed

N/A: Not Applicable

D: Damaged <10% distributed/<25% local

NA/PS: Not Analyzed / Positive Stop

NAD: No Asbestos Detected

SD: Significantly Damaged >10% distributed/>25% local

Trace: Less Than 1% Asbestos

I: Intact – Little to No Damage

**APPENDIX B:
ACM CHAIN OF CUSTODY
AND LABORATORY RESULTS**



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EMSL Order: 142504194
Customer ID: LIRO50
Customer PO: 21-198-2831
Project ID:

Attention: Jason Colvin
The LiRo Group
690 Delaware Avenue
Buffalo, NY 14209

Phone: (716) 882-5476
Fax: (716) 882-9640
Received Date: 09/15/2025 1:40 PM
Analysis Date: 09/16/2025 - 09/26/2025
Collected Date: 09/12/2025

Project: 21-198-2831 / Livingston Community Revitalization Initiative - 36 South St, Leicester, NY

Test Report:Asbestos Analysis of Bulk Material

Test	Analyzed Date	Color	Non-Asbestos		Asbestos
			Fibrous	Non-Fibrous	
Sample ID 01 142504194-0001		Description Homogeneity	1st Floor Bathroom - Stick-On 12x12" Floor Tile With Squares Patterning Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	Gray		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025	Gray		100.00% Other	None Detected
Sample ID 01A 142504194-0001A		Description Homogeneity	1st Floor Bathroom - Associated Mastic Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	Gray		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025	Gray		100.00% Other	None Detected
Sample ID 02 142504194-0002		Description Homogeneity	1st Floor Bathroom - Stick-On 12x12" Floor Tile With Squares Patterning Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	Tan		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025	Tan		100.00% Other	None Detected
Sample ID 02A 142504194-0002A		Description Homogeneity	1st Floor Bathroom - Associated Mastic Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	Tan		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025	Tan		100.00% Other	None Detected
Sample ID 03 142504194-0003		Description Homogeneity	Kitchen East End - Stick-On 12x12" Floor Tile With Rectangles Patterning Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	Gray		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025	Gray		100.00% Other	None Detected

Report amended: 09/26/2025 10:26:06 Replaces initial report from: 09/17/2025 13:06:05 Reason Code: Data Entry-Results Changed



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EMSL Order: 142504194
 Customer ID: LIRO50
 Customer PO: 21-198-2831
 Project ID:

Test Report:Asbestos Analysis of Bulk Material

Test	Analyzed Date	Color	Non-Asbestos		Asbestos
			Fibrous	Non-Fibrous	
Sample ID 03A 142504194-0003A		Description Homogeneity	Kitchen East End - Associated Mastic Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	Gray		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025	Gray		100.00% Other	None Detected
Sample ID 04 142504194-0004		Description Homogeneity	Kitchen West End - Stick-On 12x12" Floor Tile With Rectangles Patterning Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	Tan		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025	Tan		100.00% Other	None Detected
Sample ID 04A 142504194-0004A		Description Homogeneity	Kitchen West End - Associated Mastic Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	Tan		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025	Tan		100.00% Other	None Detected
Sample ID 05 142504194-0005		Description Homogeneity	Stairs To 2nd Floor - Carpet Mastic/Felt, Rust Orange Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	Rust/ Orange		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025	Rust/ Orange		100.00% Other	None Detected
Sample ID 06 142504194-0006		Description Homogeneity	Stairs To 2nd Floor - Carpet Mastic/Felt, Rust Orange Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	Rust/ Orange		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025	Rust/ Orange		100.00% Other	None Detected
Sample ID 07 142504194-0007		Description Homogeneity	2nd Floor Hallway - 9x9" Streaked Gray Vinyl Floor Tile Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	Gray	None	97.40% Other	2.60% Chrysotile
TEM NYS 198.4 NOB	09/17/2025				Not Analyzed

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EMSL Order: 142504194
 Customer ID: LIRO50
 Customer PO: 21-198-2831
 Project ID:

Test Report:Asbestos Analysis of Bulk Material

Test	Analyzed Date	Color	Non-Asbestos		Asbestos
			Fibrous	Non-Fibrous	
Sample ID 07A 142504194-0007A		Description Homogeneity	2nd Floor Hallway - Associated Mastic Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/26/2025	Gray	None	96.60% Other	3.40% Chrysotile
TEM NYS 198.4 NOB	09/17/2025				Not Analyzed
Sample ID 08 142504194-0008		Description Homogeneity	2nd Floor Bathroom - 9x9" Streaked Gray Vinyl Floor Tile Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	Black		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025	Black	None	100.00% Other	<1% Chrysotile
Sample ID 08A 142504194-0008A		Description Homogeneity	2nd Floor Bathroom - Associated Mastic Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	Black		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025	Black	None	100.00% Other	<1% Chrysotile
Sample ID 09 142504194-0009		Description Homogeneity	Living Room - Window Caulk, White Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	White		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025	White	None	98.80% Other	1.20% Anthophyllite
Sample ID 10 142504194-0010		Description Homogeneity	Living Room - Window Caulk, White Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	White		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025				Positive Stop (Not Analyzed)
Sample ID 11 142504194-0011		Description Homogeneity	Dining Room - Window Caulk, Gray/Tan Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	Gray/ Tan		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025	Gray/ Tan		100.00% Other	None Detected

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EMSL Order: 142504194
Customer ID: LIRO50
Customer PO: 21-198-2831
Project ID:

Test Report: Asbestos Analysis of Bulk Material

Test	Analyzed Date	Color	Non-Asbestos		Asbestos
			Fibrous	Non-Fibrous	
Sample ID 12 142504194-0012		Description Homogeneity	Dining Room - Window Caulk, Gray/Tan Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	Gray/ Tan		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025	Gray/ Tan		100.00% Other	None Detected
Sample ID 13 142504194-0013		Description Homogeneity	1st Floor Bathroom - Caulk At Tub/Floor Intersection Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	Gray		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025	Gray		100.00% Other	None Detected
Sample ID 14 142504194-0014		Description Homogeneity	1st Floor Bathroom - Caulk At Tub/Floor Intersection Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	Gray		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025	Gray		100.00% Other	None Detected
Sample ID 15 142504194-0015		Description Homogeneity	2nd Floor Bathroom - Adhesive Associated With Wall Tile Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	Tan		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025	Tan	None	98.90% Other	1.10% Anthophyllite
Sample ID 16 142504194-0016		Description Homogeneity	2nd Floor Bathroom - Adhesive Associated With Wall Tile Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	Tan		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025				Positive Stop (Not Analyzed)
Sample ID 17 142504194-0017		Description Homogeneity	2nd Floor Bathroom - Adhesive Associated With Wallpaper Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	Tan/ White		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025	Tan/ White		100.00% Other	None Detected

Report amended: 09/26/2025 10:26:06 Replaces initial report from: 09/17/2025 13:06:05 Reason Code: Data Entry-Results Changed



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EMSL Order: 142504194
Customer ID: LIRO50
Customer PO: 21-198-2831
Project ID:

Test Report: Asbestos Analysis of Bulk Material

Test	Analyzed Date	Color	Non-Asbestos		Asbestos
			Fibrous	Non-Fibrous	
Sample ID 18 142504194-0018		Description Homogeneity	Bedroom 2 Closet - Adhesive Associated With Wallpaper Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	Tan/ White		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025	Tan/ White		100.00% Other	None Detected
Sample ID 19-Drywall 142504194-0019		Description Homogeneity	Mud Room Ceiling - Gypsum Board, Joint Compound, & Seam Tape Homogeneous		
PLM NYS 198.1 Friable	09/17/2025	Gray	15.00% Cellulose	85.00% Non-fibrous (other)	None Detected
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB					Not Analyzed
TEM NYS 198.4 NOB					Not Analyzed
Sample ID 19-Joint Compound 142504194-0019A		Description Homogeneity	Mud Room Ceiling - Gypsum Board, Joint Compound, & Seam Tape Homogeneous		
PLM NYS 198.1 Friable	09/17/2025	White		100.00% Non-fibrous (other)	None Detected
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB					Not Analyzed
TEM NYS 198.4 NOB					Not Analyzed
Sample ID 19-Joint Compound/Tape 142504194-0019B		Description Homogeneity	Mud Room Ceiling - Gypsum Board, Joint Compound, & Seam Tape Homogeneous		
PLM NYS 198.1 Friable	09/17/2025	Yellow	45.00% Glass	55.00% Non-fibrous (other)	None Detected
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB					Not Analyzed
TEM NYS 198.4 NOB					Not Analyzed
Sample ID 20-Drywall 142504194-0020		Description Homogeneity	Bedroom 1 Wall - Gypsum Board, Joint Compound, & Seam Tape Homogeneous		
PLM NYS 198.1 Friable	09/17/2025	Gray		100.00% Non-fibrous (other)	None Detected
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB					Not Analyzed
TEM NYS 198.4 NOB					Not Analyzed
Sample ID 20-Joint Compound 142504194-0020A		Description Homogeneity	Bedroom 1 Wall - Gypsum Board, Joint Compound, & Seam Tape Homogeneous		
PLM NYS 198.1 Friable	09/17/2025	White		100.00% Non-fibrous (other)	None Detected
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB					Not Analyzed
TEM NYS 198.4 NOB					Not Analyzed

Report amended: 09/26/2025 10:26:06 Replaces initial report from: 09/17/2025 13:06:05 Reason Code: Data Entry-Results Changed



EMSL Analytical, Inc.

490 Rowley Road Depew, NY 14043
 Tel/Fax: (716) 651-0030 / (716) 651-0394
<http://www.EMSL.com> / buffalolab@emsl.com

EMSL Order: 142504194
Customer ID: LIRO50
Customer PO: 21-198-2831
Project ID:

Test Report: Asbestos Analysis of Bulk Material

Test	Analyzed Date	Color	Non-Asbestos		Asbestos
			Fibrous	Non-Fibrous	
Sample ID 20-Joint Compound/Tape 142504194-0020B		Description Homogeneity	Bedroom 1 Wall - Gypsum Board, Joint Compound, & Seam Tape Homogeneous		
PLM NYS 198.1 Friable	09/17/2025	Gray/ White	50.00% Cellulose	50.00% Non-fibrous (other)	None Detected
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB					Not Analyzed
TEM NYS 198.4 NOB					Not Analyzed
Sample ID 21 142504194-0021		Description Homogeneity	Kitchen - Ceiling Tiles, White Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	White		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025	White		100.00% Other	None Detected
Sample ID 22 142504194-0022		Description Homogeneity	Bedroom 3 - Ceiling Tiles, White Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	White		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025	White		100.00% Other	None Detected
Sample ID 23 142504194-0023		Description Homogeneity	Garage - Roof Shingles, Black/Gray Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	Black		98.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025	Black		100.00% Other	None Detected
Sample ID 24 142504194-0024		Description Homogeneity	Garage - Roof Shingles, Black/Gray Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/16/2025	Black		97.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/17/2025	Black		100.00% Other	None Detected

Report amended: 09/26/2025 10:26:06 Replaces initial report from: 09/17/2025 13:06:05 Reason Code: Data Entry-Results Changed



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EMSL Order: 142504194

Customer ID: LIRO50

Customer PO: 21-198-2831

Project ID:

Test Report: Asbestos Analysis of Bulk Material

The samples in this report were submitted to EMSL for analysis by Asbestos Analysis of Bulk Materials via NYS ELAP Approved Methods. The reference number for these samples is the EMSL Order ID above. Please use this reference number when calling about these samples.

Report Comments:

Sample Receipt Date: 9/15/2025

Sample Receipt Time: 1:40 PM

Analysis Completed Date: 9/16/2025

Analysis Completed Time: 3:32 PM

Analyst(s):

Colin Deubell PLM NYS 198.1 Friable (6)

Colin Deubell PLM NYS 198.6 NOB (28)

Tom Hanes TEM NYS 198.4 NOB (24)

Samples reviewed and approved by:

Rhonda McGee, Laboratory Manager
or Other Approved Signatory

EMSL maintains liability limited to cost of analysis. Interpretation and use of test results are the responsibility of the client. This report relates only to the samples reported above, and may not be reproduced, except in full, without written approval by EMSL. EMSL bears no responsibility for sample collection activities or analytical method limitations. The report reflects the samples as received. Results are generated from the field sampling data (sampling volumes and areas, locations, etc.) provided by the client on the Chain of Custody. Samples are within quality control criteria and met method specifications unless otherwise noted. Estimation of uncertainty available upon request. This report is a summary of multiple methods of analysis, fully compliant reports are available upon request. All samples examined for the presence of vermiculite when analyzed via NYS 198.1. A combination of PLM and TEM analysis may be necessary to ensure consistently reliable detection of asbestos. Polarized-light microscopy is not consistently reliable in detecting asbestos in floor coverings and similar non-friable organically bound materials. This report must not be used to claim product endorsement by NVLAP of any agency or the U.S. Government. Quantitative transmission electron microscopy is currently the only method that can be used to determine if this material can be considered or treated as non-asbestos containing. NOB= Non friable organically bound; N/A= Not applicable VCM= Vermiculite containing material.

Samples analyzed by EMSL Analytical, Inc. Depew, NY NYS ELAP 11606, NVLAP Lab Code 200056-0

Report amended: 09/26/2025 10:26:06 Replaces initial report from: 09/17/2025 13:06:05 Reason Code: Data Entry-Results Changed



LiRo Engineers, Inc. ENVIRONMENTAL & ENGINEERING SERVICES

85 Allen St, Suite 300
Rochester, NY 14608
Tel. 716-882-5476 / Fax 716-882-9640

Bulk Sampling Chain of Custody Form

LiRo Job # / PO #:

21-198-2831

Job Name:

Livingston Community Revitalization
Initiative - 36 South St, Leicester

Job Location:

36 South St, Leicester, NY

Samples Taken by:

Sarah Northan

Building /Site:

house

Page 1 of 2

email results to: ColvinJ@liro-hill.comNorthanS@liro-hill.com

Turn-Around-Time: 48-hour

ACM CODE	SAMPLE NUMBER	SAMPLE LOCATION	DESCRIPTION OF MATERIAL	NOTES	QUANTITY
A	01	1st Floor Bathroom	Stick-on 12x12" Floor Tile with Squares Patterning and associated Mastic		
	02				
B	03	Kitchen east end Kitchen west end	Stick-on 12x12" Floor Tile with Rectangles Patterning and associated Mastic		
	04				
C	05	Stairs to 2nd Floor	Carpet Mastic/Felt, Rust Orange		
	06				
D	07	2nd Floor Hallway 2nd Floor Bathroom	9x9" Streaked Gray Vinyl Floor Tile and associated Mastic		
	08				
E	09	Living Room	Window Caulk, White		
	10				
F	11	Dining Room	Window Caulk, Gray/Tan		
	12				

Comments: **First positive stop for each "ACM Code" Group.**

Analyze NYS friables via PLM only. Analyze NYS NOB via PLM to TEM.

RECEIVED
SEP 15 2025

Relinquished By (Signature)	Date / Time	Received By (Signature)	Date / Time
<i>Sarah Northan</i>	9/12/2025 12:00	<i>[Signature]</i>	9/12/2025 1:40pm Fed-X



LiRo Engineers, Inc. ENVIRONMENTAL & ENGINEERING SERVICES

85 Allen St, Suite 300
Rochester, NY 14608
Tel. 716-882-5476 / Fax 716-882-9640

Bulk Sampling Chain of Custody Form

LiRo Job # / PO #:

21-198-2831

Job Name:

Livingston Community Revitalization

Job Location:

Initiative - 36 South St, Leicester

Samples Taken by:

36 South St, Leicester, NY

Building /Site:

Sarah Northan

house

Page 2 of 2

email results to: ColvinJ@liro-hill.comNorthanS@liro-hill.com

Turn-Around-Time: 48-hour

ACM CODE	SAMPLE NUMBER	SAMPLE LOCATION	DESCRIPTION OF MATERIAL	NOTES	QUANTITY
G	13	1st Floor Bathroom	Caulk at Tub/Floor Intersection		
	14				
H	15	2nd Floor Bathroom	Adhesive associated with Wall Tile		
	16				
I	17	2nd Floor Bathroom Bedroom 2 Closet	Adhesive associated with Wallpaper		
	18				
J	19	Mud Room Ceiling Bedroom 1 Wall	Gypsum Board, Joint Compound, & Seam Tape	Separate & Test	
	20				
K	21	Kitchen Bedroom 3	Ceiling Tiles, White		
	22				
L	23	Garage	Roof Shingles, Black/Gray		
	24				

Comments: First positive stop for each "ACM Code" Group.

Analyze NYS friables via PLM only. Analyze NYS NOB via PLM to TEM.

Relinquished By (Signature)	Date / Time	Received By (Signature)	Date / Time
<i>Sarah Northan</i>	9/12/2025 12:00	<i>[Signature]</i>	SEP 15 2025

BY: *[Signature]* 1:40 pm
Fcdy



EMSL Analytical, Inc.

490 Rowley Road Depew, NY 14043
Tel/Fax: (716) 651-0030 / (716) 651-0394
<http://www.EMSL.com> / buffalolab@emsl.com

EMSL Order: 142504310
Customer ID: LIRO50
Customer PO: 21-198-2831
Project ID:

Attention: Jason Colvin
The LiRo Group
690 Delaware Avenue
Buffalo, NY 14209

Phone: (716) 882-5476
Fax: (716) 882-9640
Received Date: 09/19/2025 5:40 PM
Analysis Date: 09/22/2025
Collected Date: 09/19/2025

Project: 21-198-2831 / Livingston Community Revitalization Initiative - 36 South St, Leicester / 36 South St, Leicester, NY / House

Test Report:Asbestos Analysis of Bulk Material

Test	Analyzed Date	Color	Non-Asbestos		Asbestos
			Fibrous	Non-Fibrous	
Sample ID 25A 142504310-0001		Description Homogeneity	Main Roof - Top Layer - West Side - Architectural Asphalt Shingle Tan/Black Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/22/2025	Black	4.90% Glass	95.10% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/22/2025	Black		100.00% Other	None Detected
Sample ID 25B 142504310-0002		Description Homogeneity	Main Roof - Top Layer - North Side - Architectural Asphalt Shingle Tan/Black Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/22/2025	Black	7.70% Glass	92.30% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/22/2025	Black		100.00% Other	None Detected
Sample ID 26 142504310-0003		Description Homogeneity	Main Roof - Second Layer - West Side - Roll Roofing Tan/Black Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/22/2025	Black	3.60% Glass	96.40% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/22/2025	Black		100.00% Other	None Detected
Sample ID 27 142504310-0004		Description Homogeneity	Main Roof - Second Layer - North Side - Roll Roofing Tan/Black Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/22/2025	Black		96.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/22/2025	Black		100.00% Other	None Detected
Sample ID 28 142504310-0005		Description Homogeneity	Main Roof - Third Layer - West Side - Asphalt Shingle Tan/Black Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/22/2025	Black		98.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/22/2025	Black		100.00% Other	None Detected

Initial report from: 09/22/2025 16:54:17



EMSL Analytical, Inc.

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Tel/Fax: (716) 651-0030 / (716) 651-0394
<http://www.EMSL.com> / buffalolab@emsl.com

EMSL Order: 142504310
Customer ID: LIRO50
Customer PO: 21-198-2831
Project ID:

Test Report: Asbestos Analysis of Bulk Material

Test	Analyzed Date	Color	Non-Asbestos		Asbestos
			Fibrous	Non-Fibrous	
Sample ID 29 142504310-0006		Description Homogeneity	Main Roof - Third Layer - North Side - Asphalt Shingle Tan/Black Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/22/2025	Black		97.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/22/2025	Black		100.00% Other	None Detected
Sample ID 30 142504310-0007		Description Homogeneity	Main Roof - Fourth Layer - West Side - Asphalt Shingle Tan/Black Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/22/2025	Black		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/22/2025	Black		100.00% Other	None Detected
Sample ID 31 142504310-0008		Description Homogeneity	Main Roof - Fourth Layer - North Side - Asphalt Shingle Tan/Black Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/22/2025	Black		97.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/22/2025	Black		100.00% Other	None Detected
Sample ID 32 142504310-0009		Description Homogeneity	Main Roof - Tar Paper - South Side - Tar Paper, Black Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/22/2025	Black		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/22/2025	Black		100.00% Other	None Detected
Sample ID 33 142504310-0010		Description Homogeneity	Porch Roof - Tar Paper - East Side - Tar Paper, Black Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/22/2025	Black		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/22/2025	Black		100.00% Other	None Detected
Sample ID 34 142504310-0011		Description Homogeneity	Second Layer - Front Roof - South Side - Asphalt Shingles, Black Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/22/2025	Black		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/22/2025	Black		100.00% Other	None Detected

Initial report from: 09/22/2025 16:54:17



EMSL Analytical, Inc.

490 Rowley Road Depew, NY 14043
Tel/Fax: (716) 651-0030 / (716) 651-0394
<http://www.EMSL.com> / buffalolab@emsl.com

EMSL Order: 142504310
Customer ID: LIRO50
Customer PO: 21-198-2831
Project ID:

Test Report: Asbestos Analysis of Bulk Material

Test	Analyzed Date	Color	Non-Asbestos		Asbestos
			Fibrous	Non-Fibrous	
Sample ID 35 142504310-0012		Description Homogeneity	Second Layer - Breezeway - West Side - Asphalt Shingles, Black Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/22/2025	Black		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/22/2025	Black		100.00% Other	None Detected
Sample ID 36 142504310-0013		Description Homogeneity	Lower Roof - North Side - Asphalt Tar Paper, Black Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/22/2025	Black		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/22/2025	Black		100.00% Other	None Detected
Sample ID 37 142504310-0014		Description Homogeneity	Lower Roof - South Side - Asphalt Tar Paper, Black Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/22/2025	Black		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/22/2025	Black		100.00% Other	None Detected
Sample ID 38 142504310-0015		Description Homogeneity	Lower Roof - North Side - Asphalt Shingle, Black Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/22/2025	Black	3.90% Glass	96.10% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/22/2025	Black		100.00% Other	None Detected
Sample ID 39 142504310-0016		Description Homogeneity	Lower Roof - South Side - Asphalt Shingle, Black Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/22/2025	Black	3.90% Glass	96.10% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/22/2025	Black		100.00% Other	None Detected
Sample ID 40 142504310-0017		Description Homogeneity	Around Chimney - Roofing Tar/Black Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/22/2025	Black		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/22/2025	Black		100.00% Other	None Detected

Initial report from: 09/22/2025 16:54:17



EMSL Analytical, Inc.

490 Rowley Road Depew, NY 14043
Tel/Fax: (716) 651-0030 / (716) 651-0394
<http://www.EMSL.com> / buffalolab@emsl.com

EMSL Order: 142504310
Customer ID: LIRO50
Customer PO: 21-198-2831
Project ID:

Test Report: Asbestos Analysis of Bulk Material

Test	Analyzed Date	Color	Non-Asbestos		Asbestos
			Fibrous	Non-Fibrous	
Sample ID 41 142504310-0018		Description Homogeneity	Around Chimney - Roofing Tar/Black Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/22/2025	Black		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/22/2025	Black		100.00% Other	None Detected
Sample ID 42 142504310-0019		Description Homogeneity	Lower Roof at the Siding - Old Roofing Tar/Black Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/22/2025	Black	None	98.30% Other	1.70% Chrysotile
TEM NYS 198.4 NOB	09/22/2025				Not Analyzed
Sample ID 43 142504310-0020		Description Homogeneity	Lower Roof at the Siding - Old Roofing Tar/Black		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/22/2025				Positive Stop (Not Analyzed)
TEM NYS 198.4 NOB	09/22/2025				Not Analyzed
Sample ID 44 142504310-0021		Description Homogeneity	Top Layer - Breezeway - North Side - Asphalt Shingle, Black Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/22/2025	Black	13.00% Glass	87.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/22/2025	Black		100.00% Other	None Detected
Sample ID 45 142504310-0022		Description Homogeneity	Top Layer - Breezeway - South Side - Asphalt Shingle, Black Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/22/2025	Black	13.00% Glass	87.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/22/2025	Black		100.00% Other	None Detected
Sample ID 46 142504310-0023		Description Homogeneity	Top Layer - Porch Roof - North Side - Asphalt Shingle, Black Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/22/2025	Black		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/22/2025	Black		100.00% Other	None Detected

Initial report from: 09/22/2025 16:54:17



EMSL Analytical, Inc.

490 Rowley Road Depew, NY 14043

Tel/Fax: (716) 651-0030 / (716) 651-0394

<http://www.EMSL.com> / buffalolab@emsl.com

EMSL Order: 142504310

Customer ID: LIRO50

Customer PO: 21-198-2831

Project ID:

Test Report:Asbestos Analysis of Bulk Material

Test	Analyzed Date	Color	Non-Asbestos		Asbestos
			Fibrous	Non-Fibrous	
Sample ID	47	Description	Top Layer - Porch Roof - East Side - Asphalt Shingle, Black		
	142504310-0024	Homogeneity	Homogeneous		
PLM NYS 198.1 Friable					Not Analyzed
PLM NYS 198.6 VCM					Not Analyzed
PLM NYS 198.6 NOB	09/22/2025	Black		100.00% Other	Inconclusive: None Detected
TEM NYS 198.4 NOB	09/22/2025	Black		100.00% Other	None Detected

Initial report from: 09/22/2025 16:54:17



EMSL Analytical, Inc.

490 Rowley Road Depew, NY 14043

Tel/Fax: (716) 651-0030 / (716) 651-0394

<http://www.EMSL.com> / buffalolab@emsl.com

EMSL Order: 142504310

Customer ID: LIRO50

Customer PO: 21-198-2831

Project ID:

Test Report: Asbestos Analysis of Bulk Material

The samples in this report were submitted to EMSL for analysis by Asbestos Analysis of Bulk Materials via NYS ELAP Approved Methods. The reference number for these samples is the EMSL Order ID above. Please use this reference number when calling about these samples.

Report Comments:

Sample Receipt Date: 9/19/2025

Sample Receipt Time: 5:40 PM

Analysis Completed Date: 9/22/2025

Analysis Completed Time: 4:22 PM

Analyst(s):

Colin Deubell PLM NYS 198.6 NOB (23)

Tom Hanes TEM NYS 198.4 NOB (22)

Samples reviewed and approved by:

Rhonda McGee, Laboratory Manager
or Other Approved Signatory

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Samples analyzed by EMSL Analytical, Inc. Depew, NY NYS ELAP 11606, NVLAP Lab Code 200056-0

Initial report from: 09/22/2025 16:54:17



LiRo Engineers, Inc. ENVIRONMENTAL & ENGINEERING SERVICES

85 Allen St, Suite 300
Rochester, NY 14608
Tel. 716-882-5476 / Fax 716-882-9640

142504310

Bulk Sampling Chain of Custody Form

LiRo Job # / PO #:

21-198-2831

Job Name:

Livingston Community Revitalization
Initiative - 36 South St, Leicester

Job Location:

36 South St, Leicester, NY

Samples Taken by:

Raymond Cich

Building /Site:

House

Page 1 of 2

email results to: ColvinJ@liro-hill.com

Cichr@liro-hill.com

Turn-Around-Time: 24-hour

ACM CODE	SAMPLE NUMBER	SAMPLE LOCATION	DESCRIPTION OF MATERIAL	NOTES	QUANTITY
M	25A	Main roof - Top Layer - West Side	Architectural asphalt Shingle Tan/Black		
	25B	Main roof - Top Layer - North Side			
N	26	Main roof - Second Layer- West Side	Roll roofing Tan/Black		
	27	Main roof - Second Layer- North Side			
O	28	Main roof - Third Layer- West Side	Asphalt Shingle Tan/Black		
	29	Main roof - Third Layer- North Side			
P	30	Main roof -Fourth Layer- West Side	Asphalt Shingle Tan/Black		
	31	Main roof - Fourth Layer- North Side			
Q	32	Main roof -Tar paper- South Side	Tar paper, Black		
	33	Porch roof - Tar paper- East side Side			
R	34	Second layer - Front roof- South Side	Asphalt Shingles, Black		
	35	Second layer - Breezeway- West Side			

RECEIVED
SEP 10 2025

BY: *ColvinJ*
WI 5:40 PM

Comments: First positive stop for each "ACM Code" Group.

Analyze NYS friables via PLM only. Analyze NYS NOB via PLM to TEM.

Relinquished By (Signature)	Date 9/10/25 1700	Received By (Signature)	Date / Time
-----------------------------	-------------------	-------------------------	-------------



LiRo Engineers, Inc. ENVIRONMENTAL & ENGINEERING SERVICES

85 Allen St, Suite 300
Rochester, NY 14608
Tel. 716-882-5476 / Fax 716-882-9640

Bulk Sampling Chain of Custody Form

LiRo Job # / PO #:

21-198-2831

Job Name:

Livingston Community Revitalization
Initiative - 36 South St, Leicester

Job Location:

36 South St, Leicester, NY

Samples Taken by:

Raymond Cich

Building /Site:

house

Page 2 of 2

email results to: ColvinJ@liro-hill.com

Cichr@liro-hill.com

Turn-Around-Time: 24-hour

ACM CODE	SAMPLE NUMBER	SAMPLE LOCATION	DESCRIPTION OF MATERIAL	NOTES	QUANTITY
S	36	Lower roof - North Side	Asphalt Tar paper, Black		
	37	Lower roof - South Side			
T	38	Lower roof - North Side	Asphalt Shingle, Black		
	39	Lower roof - South Side			
U	40	Around chimney	Roofing tar /Black		
	41				
V	42	Lower roof at the siding	Old Roofing tar /Black		
	43				
W	44	Top layer - Breezeway- North Side	Asphalt Shingle, Black		
	45	Top layer - Breezeway- South Side			
X	46	Top layer - Porch roof - North Side	Asphalt Shingle, Black		
	47	Top layer -Porch roof - East Side			

RECEIVED
SEP 19 2025

BY: *ColvinJ*
WI

5:40pm

Comments: First positive stop for each "ACM Code" Group.

Analyze NYS friables via PLM only. Analyze NYS NOB via PLM to TEM.

Relinquished By (Signature)	Date / Time 9/19/25	Received By (Signature)	Date / Time
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**APPENDIX C:
LABORATORY ACCREDITATIONS
AND PERSONNEL CERTIFICATIONS**

WE ARE YOUR DOL



**Department
of Labor**

DIVISION OF SAFETY & HEALTH LICENSE AND CERTIFICATE UNIT, STATE OFFICE CAMPUS, BLDG. 12, ALBANY, NY 12226

ASBESTOS HANDLING LICENSE

LiRo Engineers, Inc.
690 Delaware Avenue, Buffalo, NY, 14209

License Number: 28866

License Class: RESTRICTED

Date of Issue: 11/26/2024

Expiration Date: 12/31/2025

Duly Authorized Representative: Robert Kreuzer

This license has been issued in accordance with applicable provisions of Article 30 of the Labor Law of New York State and of the New York State Codes, Rules and Regulations (12 NYCRR Part 56). It is subject to suspension or revocation for a (1) serious violation of state, federal or local laws with regard to the conduct of an asbestos project, or (2) demonstrated lack of responsibility in the conduct of any job involving asbestos or asbestos material.

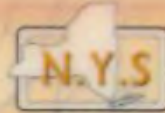
This license is valid only for the contractor named above and this license or a photocopy must be prominently displayed at the asbestos project worksite. This license verifies that all persons employed by the licensee on an asbestos project in New York State have been issued an Asbestos Certificate, appropriate for the type of work they perform, by the New York State Department of Labor.

A handwritten signature in black ink, appearing to read "Amy Phillips".

Amy Phillips, Director
For the Commissioner of Labor

EXCELSIOR

STATE OF NEW YORK - DEPARTMENT OF LABOR
ASBESTOS CERTIFICATE



SARAH NORTHAN

CLASS(EXPIRES)

C ATEC (06/26) D INSP (06/26)

H PM (06/26)

CERT# 25-6IZNU-SHAB
DMV# 677814216

MUST BE CARRIED ON ASBESTOS PROJECTS



01213 007535668 33

IF FOUND, RETURN TO:
NYS DOL - L&C UNIT
ROOM 161A BUILDING 12
STATE OFFICE CAMPUS
ALBANY NY 12226

STATE OF NEW YORK - DEPARTMENT OF LABOR
ASBESTOS CERTIFICATE



RAYMOND J CICH
CLASS(EXPIRES)
C ATEC (08/26) D INSP (08/26)
H PM (08/26) I PD (08/25)

CERT# 25-6L6T3-SHAB
DMV# 986739677

MUST BE CARRIED ON ASBESTOS PROJECTS

10101111 10101111 10101111 10101111



IF FOUND, RETURN TO:
NYSDOL - L&C UNIT
ROOM 161A BUILDING 12
STATE OFFICE CAMPUS
ALBANY NY 12226



01213 007642986 99

NEW YORK STATE DEPARTMENT OF HEALTH
WADSWORTH CENTER



Expires 12:01 AM April 01, 2026
Issued April 01, 2025

CERTIFICATE OF APPROVAL FOR LABORATORY SERVICE

Issued in accordance with and pursuant to section 502 Public Health Law of New York State

MS. RHONDA R. MCGEE
EMSL ANALYTICAL INC
490 ROWLEY ROAD
DEPEW, NY 14043

NY Lab Id No: 11606

is hereby APPROVED as an Environmental Laboratory for the category
ENVIRONMENTAL ANALYSES SOLID AND HAZARDOUS WASTE
All approved subcategories and/or analytes are listed below:

Miscellaneous

Asbestos in Friable Material	Item 198.1 of Manual EPA 600/M4/82/020
Asbestos in Non-Friable Material-PLM	Item 198.6 of Manual (NOB by PLM)
Asbestos in Non-Friable Material-TEM	Item 198.4 of Manual



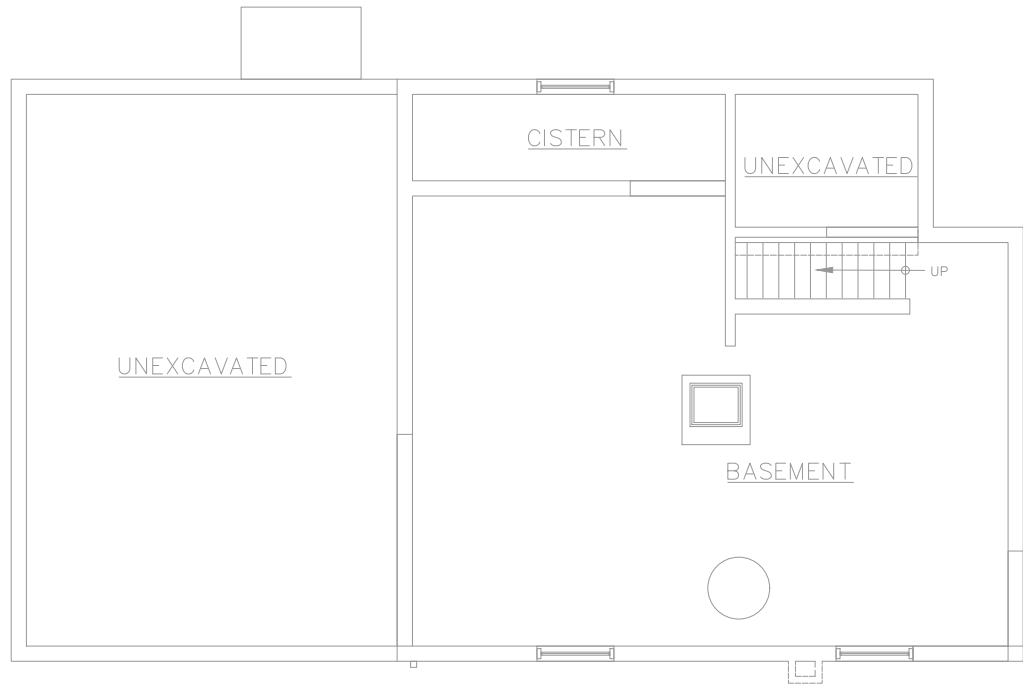
Serial No.: 70528

Property of the New York State Department of Health. Certificates are valid only at the address shown and must be conspicuously posted by the laboratory. Continued accreditation depends on the laboratory's successful ongoing participation in the Program. Consumers may verify a laboratory's accreditation status online at <https://apps.health.ny.gov/pubdoh/applinks/wc/elappublicweb/>, by phone (518) 485-5570 or by email to elap@health.ny.gov.

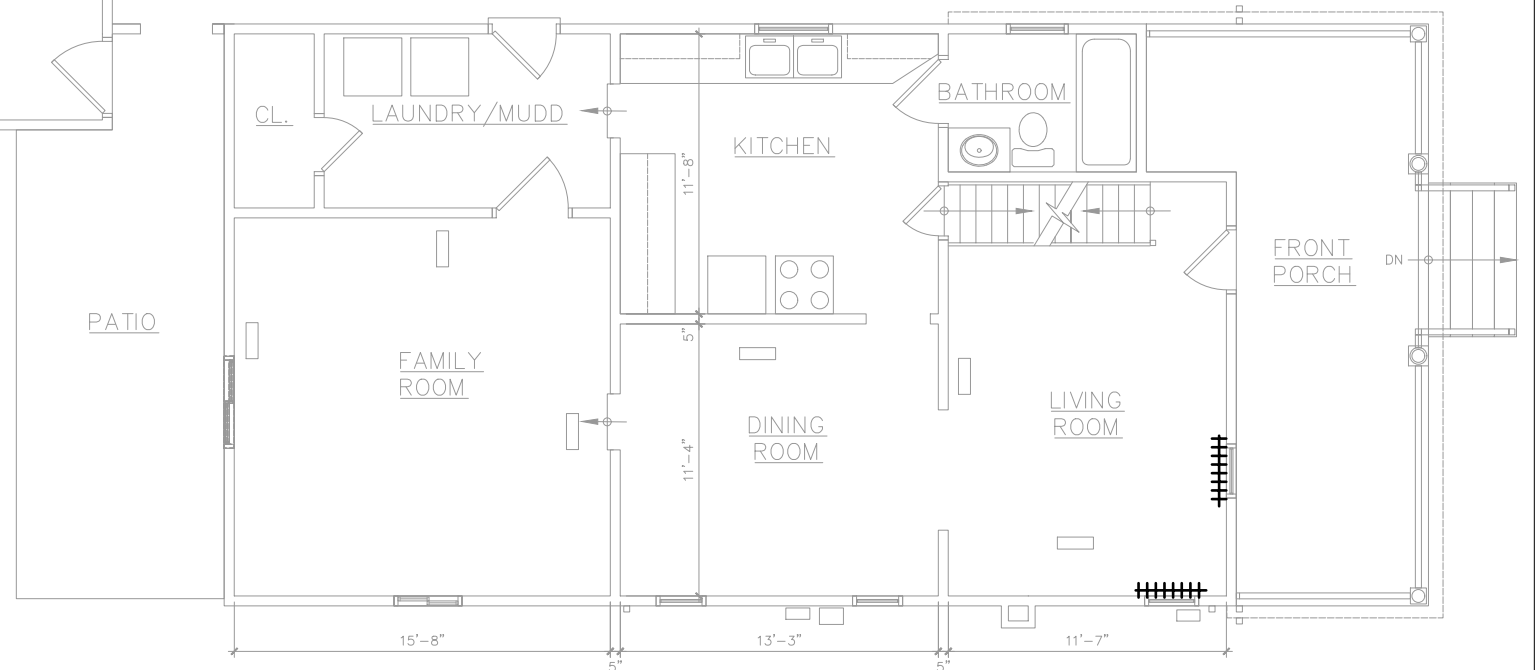
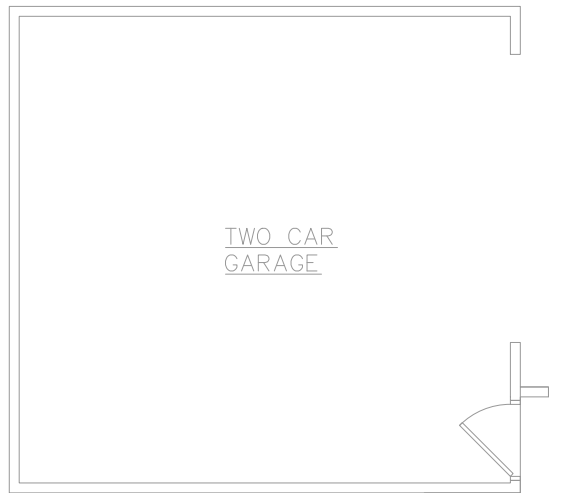
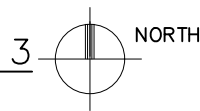
APPENDIX D:

**BULK SAMPLE LOCATION MAP
AND ACM LOCATION DRAWING**

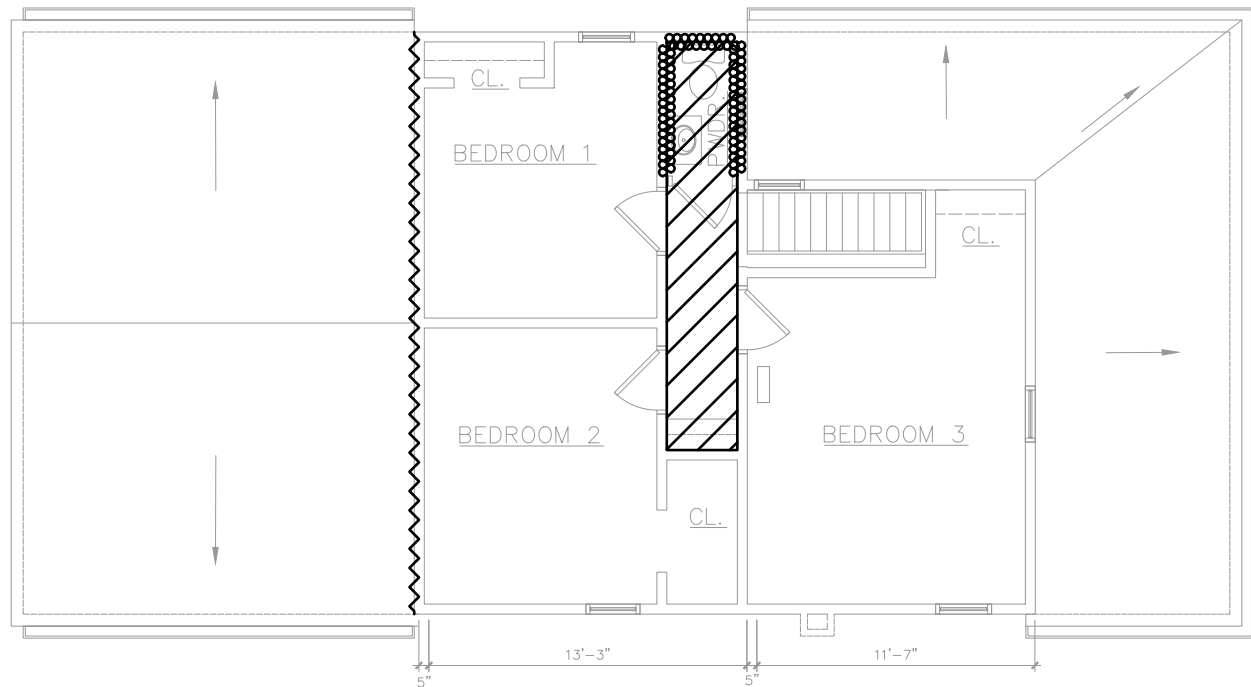
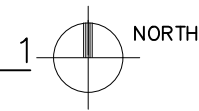




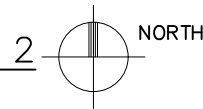
BASEMENT PLAN
1/4" = 1'-0"



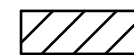
FIRST FLOOR PLAN
1/4" = 1'-0"



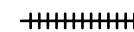
SECOND FLOOR/ROOF PLAN
1/4" = 1'-0"



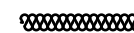
LEGEND:



ASBESTOS-CONTAINING 9"x9" STREAKED GRAY FLOOR TILE WITH ASSOCIATED MASTIC, FROM THE 2ND FLOOR HALLWAY AND BATHROOM, NON-FRIABLE, APPROXIMATELY 55 SF.



ASBESTOS-CONTAINING WINDOW CAULK, WHITE, LIVING ROOM, NON-FRIABLE, APPROXIMATELY 3 SF.



ASBESTOS-CONTAINING ADHESIVE ASSOCIATED WITH WALL TILE, 2ND FLOOR BATHROOM, NON-FRIABLE, APPROXIMATELY 70 SF.



ASBESTOS-CONTAINING OLD ROOF TAR ON REAR LOWER ROOF AT SIDING, BLACK, NON-FRIABLE, APPROXIMATELY 1 SF.

WARNING

IT IS A VIOLATION OF SECTION 7209, SUBDIVISION 2, OF THE NEW YORK STATE EDUCATION LAW FOR ANY PERSON, OTHER THAN THOSE WHOSE SEAL APPEARS ON THIS DRAWING, TO ALTER IN ANY WAY AN ITEM ON THIS DRAWING. IF AN ITEM IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

NO.	DATE	DESCRIPTION
REVISIONS		



LiRo Engineers, Inc.
85 Allen Street
Rochester, New York

PROJ. ENG.:
J.R.P.
DESIGNED BY:
S.B.T.
CHECKED BY:
J.R.P.
DRAWN BY:
S.B.T.

CLIENT:

LIVINGSTON COUNTY
LAND BANK CORPORATION

DATE: SEPTEMBER 2025

SCALE: NOT TO SCALE

JOB TITLE AND LOCATION:

PROPERTY RENOVATIONS AT
36 SOUTH STREET, LEICESTER, NY 14481

DRAWING TITLE:

36 SOUTH ST.
ACM LOCATION PLAN

LIRO JOB NO.:
21-198-2831

SHEET OF
1 1

FIGURE NO.

ACM-01

APPENDIX E:
PHOTOGRAPHIC LOG



Limited ACM Inspection Report

Photographic Log:

 9x9" streaked gray floor tile with associated mastic, 2nd floor hallway and bathroom, non-friable, 55 square feet	 Window caulk, white, living room, non-friable, 3 square feet
 Adhesive associated with wall tile, 2nd floor bathroom, non-friable, 70 square feet	 Old roof tar on rear lower roof at siding associated with the house, black, non-friable, 1 square foot